

**PLANNING AND ZONING COMMISSION MEETING**  
**Tuesday, April 28, 2015**  
**6:00 P.M.**  
**COUNCIL CHAMBERS**  
**CITY HALL, 200 NORTH DAVID STREET**

*Meetings can be viewed online at [www.casperwy.gov](http://www.casperwy.gov) on the Planning and Zoning Commission web page.*

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PLANNING AND ZONING POLICY  
PUBLIC STATEMENTS

- I. Use of Cellular Telephones is Not Permitted, and Such Telephones Shall Be Turned Off or Otherwise Silenced During the Planning and Zoning Commission Meeting.
- II. Speaking to the Planning and Zoning Commission (These Guidelines Are Also Posted at the Podium in the Council Chambers)
  - Clearly State Your Name and Address.
  - Please Keep Your Remarks Pertinent to the Issue Being Considered by the Planning and Zoning Commission.
  - Please Do Not Repeat the Same Statements that Were Made by a Previous Speaker.
  - Please Speak to the Planning and Zoning Commission as You Would Like to Be Spoken To.
  - Please Do Not Address Applicants or Other Audience Members Directly.
  - Please Make Your Comments at the Podium and Directed to the Planning and Zoning Commission.
- III. The City of Casper Planning and Zoning Commission is a volunteer body composed of members of the Casper Community, and appointed by the Casper City Council. The Commission acts as a quasi-judicial panel, making final decisions on some specific items, and recommendations to the City Council on others as dictated by law. The Commission may only consider evidence about any case as it relates to existing law. The Commission cannot make or change planning or zoning laws, regulations, policies or guidelines.

AGENDA

- I. **CALL TO ORDER.**
- II. **MINUTES:**
- III. **PUBLIC HEARINGS:**
  - A. **PLN-15-011-R – (Continued March 24, 2015) Petition to vacate and replat all of Lots 39, 40 and 41, River Park II, to create River Park II, Lots 42, 43 and**

**Tract A Addition, comprising 2.144-acres, more or less, located at 5942, 5953 & 5965 River Park Drive. Applicant: Five G, LLC.**

- B. PLN-15-016-S – Site plan approval for a 1 story, 36,736 square foot, recreational facility, on a parcel in Section 16, T.33N, R79W, located at 315 East 15th Street. Applicant: Casper Family YMCA, Inc., a Wyoming Corporation.**
- C. PLN-15-017-S – Site plan approval for a 39,100 square foot (foot print), mini-storage facility on Lot 1, Terrace Addition No. 3, located at 407 North Walsh Drive. Applicant: Torry Kersenbrock.**
- D. PLN-15-018-Z – Petition for a Zone Change of Lot 3 and N ½ Lot 4, Block 96, Casper Addition, located at 335 North Grant Street, from M-1 (Limited Industrial) to C-3 (Central Business). Applicant: Mountain View Builders, Inc.**
- E. PLN-15-019-Z – Petition for a Zone Change of Lot 3, Block 12, Nelson’s Addition, located at 1231 North Wolcott Street, from R-6 (Manufactured Home (Mobile) Park) to R-3 (One to Four Unit Residential). Applicant: C&G Investments, LLC.**

**IV. COUNCIL ACTIONS:**

**V. SPECIAL ISSUES:**

**VI. COMMUNICATIONS:**

- A. Commission**
- B. Community Development Director**
- C. Council Liaison**
- D. Other Communications**

**VIII. ADJOURNMENT**

**PLANNING AND ZONING MEETING  
TUESDAY, MARCH 24, 2015  
CITY COUNCIL CHAMBERS**

These minutes are a summary of the meeting. For full details view online at [www.casperwy.gov](http://www.casperwy.gov) on the Planning Commission web page. The Planning and Zoning Commission held a meeting at 6:00 p.m., on Tuesday, March 24, 2015, in the Council Chambers, City Hall, 200 North David Street, Casper, Wyoming.

Members Present: James Holloway  
Bob King  
Ryan Waterbury  
Don Redder  
Mary England

Absent Members: Randy Hein  
Monte Henrie

Others present: Liz Becher, Community Development Director  
Craig Collins, City Planner  
Aaron Kloke, Planner I  
Dee Hardy, Administrative Assistant II  
Wallace Trembath, Assistant City Attorney  
Jason Knopp, City Engineer  
Lisa Burrige, 5820 Walnut Street  
Janet Hughes, 1026 Goodstein Drive  
Daniel Mull, 910 Goodstein Drive  
Lowell Flenor, 900 Bryan Stock Trail  
Eric Graney, 1855 Begonia  
Andrew Houck, 1823 Begonia  
Phil Ellsworth, 1740 Begonia  
Cindy Clayton, 1670 Begonia  
John Hitchcock, 1811 Begonia  
Jeff McDonald, 1843 Begonia  
Jerry Quinlan, 1664 Begonia  
Kim Holloway, 2068 South Cedar Street

**II. MINUTES OF THE PREVIOUS MEETING**

Chairman Holloway asked if there were additions or corrections to the minutes of the February 24, 2015 Planning & Zoning Commission meeting.

There being none, Chairman Holloway called for a motion to approve the minutes of the

February 24, 2015 Planning & Zoning Commission.

Mr. Redder made a motion to approve the minutes of the February 24, 2015 meeting. The motion was seconded by Mr. King. All those present voted aye. Minutes approved.

### **III. PUBLIC HEARING**

**The Chairman advised the applicants that it takes four (4) affirmative votes to carry any motion not just a majority of those commission members present. Anything less than four (4) votes is a denial. Applicants can postpone their public hearing until next month in anticipation of more Planning Commission members being present, if they so desire.**

Chair entertains a motion to remove PLN-15-001-RZ from the table for consideration at the March 24, 2015 Planning and Zoning Commission meeting.

Mr. Waterbury made a motion to remove PLN-15-001-RZ from the table for consideration at the March 24, 2015 Planning and Zoning Commission meeting. The motion was seconded by Ms. England. All those present voted aye. Motion carried.

**PLN-15-001-RZ** – (*Tabled January 27, 2015*) Petition for preliminary plat approval for the Harmony Hills Addition No. 2, comprising 106.16-acres currently described as all of Sunrise Hills No. 3, and portions of Sunrise Hills No. 9, Sunrise Hills Addition No. 12, Garden Creek Hills Patio Homes No. 1, and Tract A, Harmony Hills No. 1, generally located at the southeast intersection of South Poplar Street and SE Wyoming Boulevard; and final plat approval of Harmony Hills No. 2 – Phase 1, and rezoning of a portion of Harmony Hills No. 2 – Phase 1, from PUD (Planned Unit Development) to R-2 (One Unit Residential). Applicant: High Plains Investments, LLC.

Aaron Kloke, Planner I, presented the staff report and recommended that the Planning and Zoning Commission approve the preliminary plat and Phase I Final Plat of the Harmony Hills Addition No. 2, and forward a “do pass” recommendation to the City Council with the following conditions:

1. Per Section 16.20.060(J) of the Municipal Code, approval of the preliminary plat shall not constitute acceptance of the final plat, and shall only confer upon the applicant the right to file a final subdivision plat based upon the preliminary plat. The preliminary plat shall not be recorded at the office of the County Clerk, and instead, shall be retained in the Casper Community Development office.
2. Per Municipal Code Section 16.16.020, the developer shall construct eight (8) foot wide sidewalks/pedestrian pathways, meeting City construction standards,

within the subdivision's mid-block pedestrian right-of-ways at the time each phase of the development is constructed.

3. Public sidewalks will be required along all streets, including South Poplar Street and Wyoming Boulevard. Sidewalks along South Poplar Street and Wyoming Boulevard shall be detached and located as far from the street pavement as practical. The sidewalks along Wyoming Boulevard shall be constructed as individual lots fronting Wyoming Boulevard are developed. The sidewalk along South Poplar Street shall be constructed as the adjacent phase of the subdivision is developed. Interior subdivision sidewalks may either be detached sidewalks, or curb walks with rollover curb, at the developer's discretion.
4. Curb cuts and vehicular access to Wyoming Boulevard and South Poplar Street shall be prohibited for individual lots. All lots that have frontage on either Wyoming Boulevard or South Poplar Street shall obtain access from interior streets only.
5. A traffic study has been commissioned. Prior to final approval by the City Council, the traffic study shall be approved by the City Engineer, and the applicant shall agree to all necessary on or off-site traffic improvements identified as necessary by said study.
6. Prior to review by the City Council, a drainage study and grading plan shall be submitted to the City Engineer for review and approval.

Phase I final plat conditions:

7. All requirements and conditions of preliminary plat approval shall apply to the approved final plat.
8. The new 12-inch transmission water main traversing from Wyoming Boulevard, south to the Sunrise Hills No. 2 water tanks, within the undeveloped Goodstein Drive right of way was installed in 2012. This water line shall be relocated within dedicated right of ways, or utility easements, at the Owner's sole expense. Utility easements shall be provided in a form acceptable to the City prior to the commencement of construction activities on the site.
9. The undeveloped right of way, Goodstein Drive, is being partially vacated where it traverses proposed Blocks 1 and 3. The applicant shall provide temporary turn-around easements for cul-de-sacs at the northern and southern terminuses of the remaining portion of Goodstein Drive, in a form acceptable to the City, which shall be recorded concurrent with the final plat of Phase 1. Said temporary turn-around easements for the cul-de-sacs shall remain in place

until such time as the area is replatted and the Goodstein Drive right of way is vacated.

10. Prior to the recording of the final plat of Phase 1, the applicant shall furnish the City with executed utility easement release forms from all utility companies for the portion of Goodstein Drive which is being vacated within Blocks 1 and 3.

And approve the request to rezone the properties described below, as follows, and forward a “do-pass” recommendation to the City Council:

1. Tracts 1, 2, 3, 4 and 5, Harmony Hills Addition No. 2, Phase 1, shall be rezoned from PUD (Planned Unit Development) to R-2 (One Unit Residential);
2. Block 7 and Block 8, Harmony Hills Addition No. 2, Phase 1, shall be rezoned from PUD (Planned Unit Development) to R-2 (One Unit Residential).

Ms. Kloke entered ten (10) exhibits into the record.

Chairman Holloway opened the public hearing and asked for the person representing the case to come forward and explain the application.

Lisa Burridge, 5820 South Walnut Street, spoke in favor of this case.

Chairman Holloway asked for anyone wishing to comment in favor of or opposition to this case.

Chairman Holloway entertained a motion to enter the public comment letter provided by Janet Hughes as Exhibit “K” into the record.

Janet Hughes, 1026 Goodstein Drive, spoke in opposition to this case.

Daniel Mull, 910 Goodstein Drive, had concerns regarding drainage and the possibility of water in his basement, and a safety issues regarding traffic entering Wyoming Boulevard from this development.

Lowell Fleenor, 900 Bryan Stock Trail, Wyoming Department of Transportation (WDOT) stated he would reserve any comments on traffic entering Wyoming Boulevard until a traffic study was done.

There being no others to speak, Chairman Holloway closed the public hearing and entertained a motion to approve, approve with conditions, deny, or table PLN-15-001-RZ, regarding the preliminary plat of Harmony Hills No. 2.

Ms. England made a motion to approve case PLN-15-001-RZ, the preliminary plat of Harmony Hills No. 2, with Conditions #1-6, listed in the staff report. The motion was seconded by Mr. Redder. All those present voted aye. Motion passed.

Chairman Holloway entertained a motion to approve, approve with conditions, deny, or table PLN-15-007-ARZV, regarding the final plat Phase I Harmony Hills No. 2.

Ms. England made a motion to approve case PLN-15-001-RZ regarding the plat of the Harmony Hills No 2, with Conditions #7-10 listed in the staff report and forward a “do pass” recommendation to City Council. The motion was seconded by Mr. King. All those present voted aye. Motion carried.

Chairman Holloway entertained a motion to approve, deny or table PLN-15-001-RZ, regarding the zone change.

Mr. Redder made a motion to approve case PLN-15-001-RZ, regarding the zoning of the Harmony Hills Addition No. 2, Tracts 1, 2, 3, 4 and 5, Harmony Hills Addition No. 2, Phase 1, shall be rezoned from PUD (Planned Unit Development) to R-2 (One Unit Residential); and Block 7 and Block 8, Harmony Hills Addition No. 2, Phase 1, shall be rezoned from PUD (Planned Unit Development) to R-2 (One Unit Residential) and forward a “do pass” recommendation to City Council. The motion was seconded by Ms. England. All those present voted aye. Motion carried.

**The Chairman advised the applicants that it takes four (4) affirmative votes to carry any motion not just a majority of those commission members present. Anything less than four (4) votes is a denial. Applicants can postpone their public hearing until next month in anticipation of more Planning Commission members being present, if they so desire.**

**PLN-15-007-ARZV** – Petition to annex a portion of the NE1/4 Section 14, T.33N., R.80W., 6<sup>th</sup> P.M., Natrona County Wyoming, and a vacation and replat of the City Park, Platte View Bluffs Subdivision, comprising 8.06-acres, more or less, to create the Begonia Bluffs Addition, generally located northwest of the intersection of Begonia Street and Lilac Street, adjacent to the North Platte River, and rezoning of proposed Lot 1 to PH (Park Historic) and Lots 2 and 3, Begonia Bluffs Addition from PH (Park Historic) to R-2 (One Unit Residential). Applicant: City of Casper.

Aaron Kloke, Planner I, presented the staff report and recommended that the Planning and Zoning Commission approve the request to annex the subject property, plat creating the Begonia Bluffs Addition, vacation of a portion of “Begonia Park,” which is described as proposed Lots 2 and 3, Begonia Bluffs Addition, and rezoning of Begonia Bluffs Addition, and forward a “do pass” recommendation to the City Council as follows:

1. Lot 1, Begonia Bluffs Addition – PH (Park Historic);

2.Lots 2 & 3, Begonia Bluffs Addition – R-2 (One Unit Residential).

Ms. Kloke entered seventeen (17) exhibits into the record.

Chairman Holloway opened the public hearing and asked for the person representing the case to come forward and explain the application.

Liz Becher, Community Development Director, 200 N. David, spoke in favor of this case.

Chairman Holloway asked for anyone wishing to comment in favor of or opposition to this case.

Eric Graney, 1855 Begonia, spoke in opposition to this case.

Andrew Houck, 1823 Begonia, spoke in opposition to this case.

Phil Ellsworth, 1740 Begonia, spoke in opposition to this case.

Cindy Clayton, 1670 Begonia, spoke in opposition to this case.

John Hitchcock, 1811 Begonia, spoke in opposition to this case.

Jeff McDonald, 1843 Begonia, spoke in opposition to this case.

Jerry Quinlan, 1664 Begonia, spoke in opposition to this case.

There being no others to speak, Chairman Holloway closed the public hearing and entertained a motion to approve, approve with conditions, deny, or table PLN-15-007-ARZV, regarding the annexation.

Mr. Redder made a motion to approve case PLN-15-007-ARZV, regarding an annexation creating Begonia Bluffs Addition, for the five (5) reasons listed in the staff report, and forward a “do pass” recommendation to City Council. The motion was seconded by Mr. King. All those present voted aye. Motion carried.

Chairman Holloway entertained a motion to approve, approve with conditions, deny, or table PLN-15-007-ARZV, regarding the platting.

Ms. England made a motion to approve case PLN-15-007-ARZV regarding the plat of the Begonia Bluffs Addition, and forward a “do pass” recommendation to City Council. The motion was seconded by Mr. Redder. All those present voted aye. Motion carried.

Chairman Holloway entertained a motion to approve, approve with conditions, deny, or table PLN-15-007-ARZV, regarding the vacation of a portion of Begonia Park.

Mr. Redder made a motion to approve case PLN-15-007-ARZV regarding the vacation of a portion of Begonia Park, described as Lots 2 and 3, Begonia Bluffs Addition, and forward a “do pass” recommendation to City Council. The motion was seconded by Mr. King. All those present voted nay with the exception of Mr. Redder who voted aye. Motion failed.

Chairman Holloway entertained a motion to approve, deny or table PLN-15-007-ARZV, regarding the zone change.

Mr. King made a motion to approve case PLN-15-007-ARZV, regarding the zoning of the Begonia Bluffs to Lot 1-PH (Park Historic), Lots 2 & 3 R-2 (One unit Residential) and forward a “do pass” recommendation to City Council. The motion was seconded by Mr. Waterbury. All those present voted nay for the following two (2) reasons 1) loss of park land and 2) no guarantee that monies from sale of lots would be used to fund a bridge across the river. Motion failed.

Ms. England recused herself from the next case and left the meeting at 8:25 p.m.

**The Chairman advised the applicants that it takes four (4) affirmative votes to carry any motion not just a majority of those commission members present. Anything less than four (4) votes is a denial. Applicants can postpone their public hearing until next month in anticipation of more Planning Commission members being present, if they so desire.**

**PLN-15-011-R** – Petition to vacate and replat all of Lots 39, 40 and 41, River Park II, to create River Park II, Lots 42, 43 and Tract A Addition, comprising 2.144-acres, more or less, located at 5942, 5953 & 5965 River Park Drive. Applicant: Five G, LLC.

Aaron Kloke, Planner I, presented the staff report and recommended that the Planning and Zoning Commission continue the replat request to create the River Park II, Lots 42, 43, and Tract A Addition to the April 28, 2015 public hearing, and direct the applicant to re-submit the requested replat in conformance with all Casper Municipal Code requirements, specifically, with regard to the minimum lot size and width requirements in an R-1 (Residential Estate) zoning district, and the dedication of utility easements.

Chairman Holloway opened the public hearing and asked if there was anyone in attendance regarding this case.

Cindy Clayton, 1670 Begonia, began to speak and Chairman Holloway and invited her to attend the April 28, 2015, Planning and Zoning Commission meeting to share her comments.

Chairman Holloway entertained a motion to continue Case # PLN-15-011-R, replat to River Park II, Lots 42, 43 and Tract A Addition, to the April 28, 2015 public hearing.

Mr. Waterbury made a motion to continue Case # PLN-15-011-R to the April 28, 2015 public hearing. The motion was seconded by Mr. Redder. All those present voted aye. Motion carried.

**IV. COUNCIL ACTIONS:**

There were none.

**V. SPECIAL ISSUES:**

There were none.

**VI. COMMUNICATIONS:**

A. Commission:

B. Mr. King thanked staff for having training sessions. He advised that he found them very useful. Mr. Collins thanked Commission members for attending the training sessions.

C. Community Development Director:

Ms. Becher stated that during the work session this evening Council voted to move forward with having bees within the City limits.

D. Other Communications:

Kim Holloway, 2068 South Cedar Street, asked the Commission if Title 17 was reviewed and updated annually as stated in the Municipal Code.

Wallace Trembath, Assistant City Attorney replied that it was reviewed and updated ongoing as needed.

E. Council Liaison:

There were none.

**VII. ADJOURNMENT**

Chairman Holloway called for a motion for the adjournment of the meeting. A motion was made by Mr. King and seconded by Mr. Waterbury to adjourn the meeting. All present voted aye. Motion carried. The meeting was adjourned at 8:38 p.m.

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Vice Chairman

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Secretary

April 24, 2014

MEMO TO: James Holloway, Chairman  
Members, Planning and Zoning Commission

FROM: Liz Becher, Community Development Director  
Craig Collins, AICP, City Planner  
Aaron Kloke, Planner I

SUBJECT: **PLN-15-011-R** – *(Continued from March 24<sup>th</sup>)* Petition to vacate and replat all of Lots 39, 40 and 41, River Park II, to create River Park II, Lots 42, 43 and Tract A Addition, comprising 2.144-acres, more or less, located at 5942, 5953 & 5965 River Park Drive. Applicant: Five G, LLC.

Recommendation:

Staff recommends that the Planning and Zoning Commission continue the replat request to create the River Park II, Lots 42, 43, and Tract A Addition to the May 26, 2015 public hearing, and direct the applicant to re-submit the requested replat in conformance with all Casper Municipal Code requirements, specifically, with regard to the minimum lot size and width requirements in an R-1 (Residential Estate) zoning district, and the dedication of utility easements.

Code Compliance:

Staff has complied with all requirements of Section 16.24 of the Casper Municipal Code pertaining to replats, including notification of property owners within three hundred (300) feet by first class mail, posting of the property, and publishing legal notice in the Casper Star-Tribune. The Commission is responsible for reviewing replats, and making a recommendation to the City Council to approve, approve with conditions, deny, or table the proposal. At the time the staff report was prepared, staff had not received any public comments on this case.

Summary:

Five G, LLC has applied for a vacation and replat of Lots 39, 40, and 41, River Park II, to create River Park II, Lots 42, 43, and Tract A Addition. The subject property is approximately 2.144 acres in size and is zoned R-1 (Residential Estate). Land uses in the immediate area are single family homes and undeveloped lots. The proposed replat is reconfiguring three (3) lots to create two (2) new lots and a tract.

The minimum lot size requirement in the R-1 (Residential Estate) zoning district is 9,000 sq. ft., and the minimum lot width is seventy-five (75) feet. Tract A, as submitted, has a

lot width of approximately thirty-five (35) feet and is approximately 8,948 sq. ft in area. This tract does not fulfill the minimum requirements of the R-1 (Residential Estate) zoning ordinance. Furthermore, Section 16.16.020(C)(2) requires that in the case of plats, the minimum area for all lots shall not be less than that required by the zoning ordinance for the respective district. In that the Commission and the Council may not approve a plat that violates the Casper Municipal Code minimum requirements, staff is recommending that the Planning and Zoning Commission continue the replat request and direct the applicant to resubmit a legal and conforming plat for review and approval. During staff's initial review of the replat, the insufficient size of Tract A was identified as needing to be changed; however, the applicant has not yet made the necessary change to the plat to bring it into compliance with the minimum standards of the Municipal Code.

Furthermore, staff's initial review requested that the Certificate of Dedication "grant" all utility easements to the public and private utility companies rather than "reserve" such utility easements. However, the applicant has not made the necessary change at this time. It is necessary to have public easements explicitly granted in order to receive the right to maintain public utilities.

# River Park II



RIVERS GATE

RIVER PARK DR



NOT TO SCALE

**Legend**  
□ Subject Property

April 24, 2015

MEMO TO: James Holloway, Chairman  
Members, Planning and Zoning Commission

FROM: Liz Becher, Community Development Director  
Craig Collins, AICP, City Planner  
Aaron Kloke, Planner I

SUBJECT: **PLN-15-016-S** – Site plan approval for a 1 story, 43,150 square foot, recreational facility, on a parcel in Section 16, T.33N, R79W, located at 315 East 15th Street. Applicant: Casper Family YMCA, Inc., a Wyoming Corporation.

Recommendation:

In the absence of information that may be presented during the public hearing, staff recommends that the Planning and Zoning Commission approve the site plan for the 43,150 square foot Casper Family YMCA, and forward a “do-pass” recommendation to the City Council with the following conditions:

1. A recorded, ten (10) year minimum parking agreement between Casper Family YMCA and Casper College to provide eighteen (18) parking spaces must be produced before the issuance of a building permit.
2. All on-site lighting shall be designed to reduce off-site glare and light pollution. All exterior lighting fixtures, including building, parking lot and pedestrian lighting, shall be shielded (full-cutoff). Pursuant to the Casper Municipal Code, no light pole may be taller than thirty (30) feet in height.
3. The applicant must apply for and submit a replat for the site.
4. The applicant shall provide a ten (10) foot pathway easement along the west side of the site along Durbin Street and Casper Mountain Road with the replat of the site.
5. The applicant shall design, administer, and construct infrastructure improvements, utilities, roads, and street lights in accordance with the Memorandum of Understanding between the City of Casper and the Casper Family YMCA, Inc. dated March 9, 2015.

### Code Compliance:

Staff has complied with all requirements of Section 17.12.150 of the Casper Municipal Code pertaining to site plans, including notification of property owners within three hundred (300) feet by first class mail, posting of the property, and publishing legal notice in the Casper Star-Tribune. At the time the staff report was prepared, staff received one (1) public comment expressing support for the proposed site plan.

The Planning and Zoning Commission is the final reviewing authority for all site plans for commercial buildings with a footprint over 20,000 square feet, but less than 43,560 square feet. The actions available to the Planning and Zoning Commission are to approve; approve with conditions; deny; or continue to a future Planning and Zoning Commission meeting. In the event that the Planning and Zoning Commission denies the site plan, the applicant may appeal that decision to the City Council, pursuant to Section 17.12.150(G) of the Casper Municipal Code.

Section 17.12.150(D) of the Casper Municipal Code provides the review criteria for the approval of a site plan. Those criteria include whether the site plan is compatible with the goals and policies of many of the City's adopted plans. Other design-related criteria for the approval of a site plan include the following:

- Promote the efficient use of land by means of a sound arrangement of buildings, safe and functional points of access, well planned parking circulation systems, and adequate sidewalks and pathways for pedestrians.
- Provide for landscaping, and within high density housing complexes, usable open space, such as, but not limited to, bicycle paths, playground areas, courtyards, areas for active recreation, swimming pools, landscaping, gardens, walks, outdoor seating areas, outdoor picnic areas, and similar open space.
- Preserve and utilize where possible, existing landscape features and amenities, and blend such features with the new structures and other improvements.

### Summary:

Casper Family YMCA, Inc. has applied for site plan approval for the construction of a new facility for the Casper Family YMCA. The subject property encompasses approximately 8.50 acres, is zoned R-4 (High Density Residential) and is located directly northeast of Casper College. Properties surrounding the subject property are zoned PH (Park Historic) to the east and ED (Educational District) to the east and west; and R-1 (General Business) to the north. Access to the proposed facility will be via 15<sup>th</sup> Street, College Drive, and Casper Mountain Road

The proposed building will be one (1) story in height, with a building footprint of 43,150 square feet and 36,736 square feet of total leasable space. Construction will be completed in several phases. Phase I will include the construction of the new facility, parking lot, and relocation of water, sewer, storm sewer, and electrical utilities. Phase II will include the construction of a swimming pool attached to the new YMCA facility. Following the construction of the new swimming pool, it is anticipated that the majority of the existing YMCA building, with the

exception of the gymnasium at the northeast corner, will be demolished. The relocation of the skate park is expected to follow these phases as well. Throughout Phase I, the skate park is expected to be relocated to the proposed site of the future swimming pool. At Phase II, with the construction of the swimming pool, the skate park is expected to be moved to its final location where the existing YMCA facility stands today, following the demolition of the existing facility. At this time, the final phases of this plan depends on fundraising, therefore there is currently no timetable for these activities.

A minimum of one hundred seventy two (172) parking spaces, including six (6) ADA compliant spaces, are required. The site plan shows a total of one hundred fifty four (154) parking spaces, including eight (8) ADA compliant spaces, on-site. The applicant has proposed to provide a parking agreement with Casper College to provide the remaining eighteen (18) required spaces among the available parking outside of the Visual Arts building. Once this agreement is approved by the College Board of Directors, it will be required to be submitted to the Community Development Department for review. While not outlined within the proposed site plan, additional future parking will be made available beyond Phase II of construction activities through utilization of the parking lot for the existing YMCA building. Landscaping accounts for fifteen (15) percent of the area of the site, which exceeds the City's minimum requirement of eight (8) percent of the total area of the site.

The proposed construction of a new YMCA facility calls for the vacation and moving of easements and utilities. It has been requested by staff to include a condition of approval which ensures that the applicant submit a replat of the site in order to sort these changes. Additionally, it has been requested that a ten (10) foot pathway easement is provided along Durbin Street and Casper Mountain Road in order to provide space to eventually extend the trail from Durbin Street to the Casper Mountain Bridle Trail.

The site plan for the new Casper Family YMCA facility meets or exceeds all minimum City requirements; therefore, staff is recommending in favor of its approval with conditions.

YMCA

E 14TH ST

S WOLCOTT ST

S DURBIN ST

S BEECH ST

S LINCOLN ST

OAKCREST AVE

S CENTER ST

E 15TH ST

COLLEGE DR

CAMPUS DR

LISCO DR

OAKCREST AVE



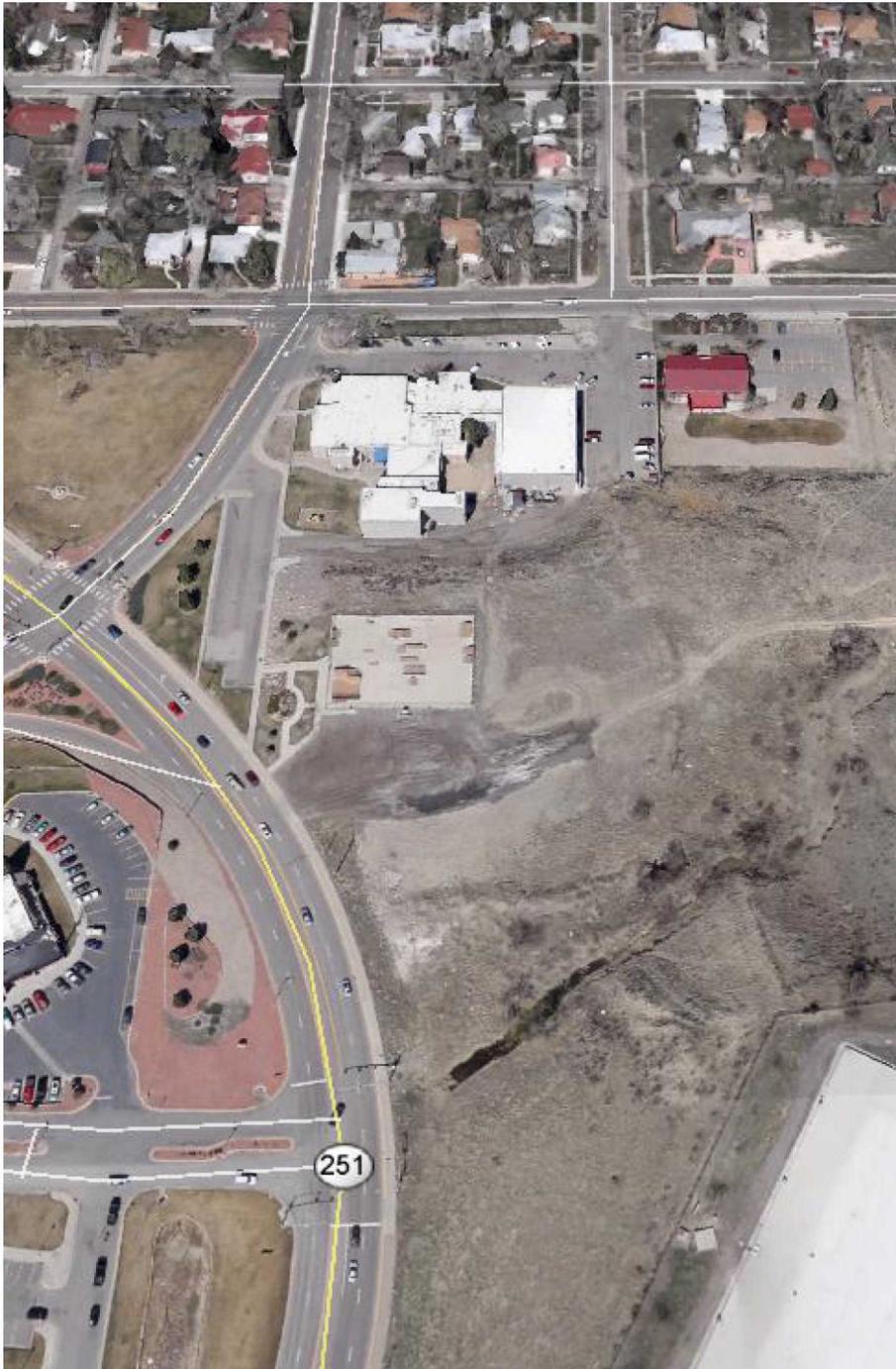
NOT TO SCALE

Legend

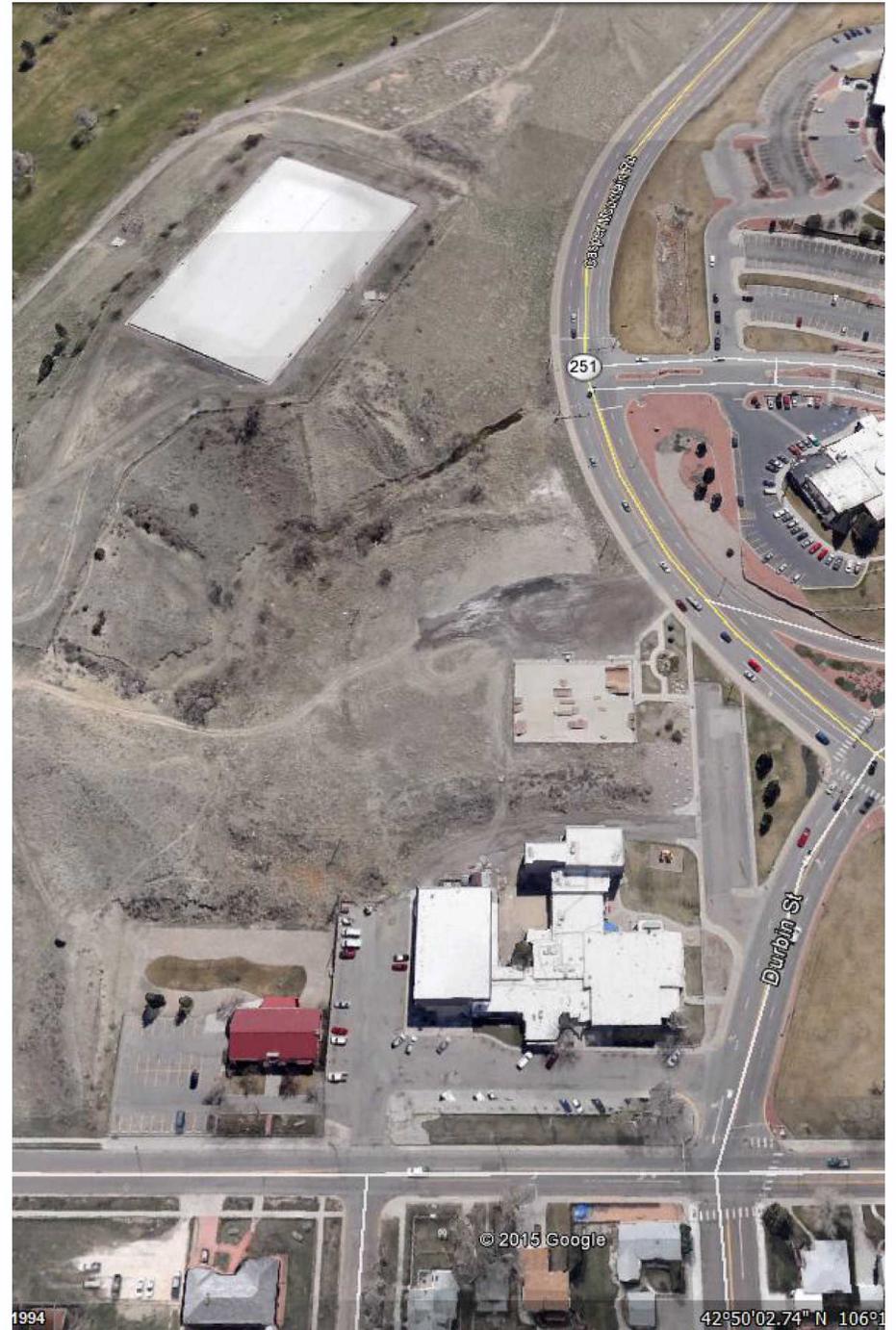
Subject Property

# YMCA

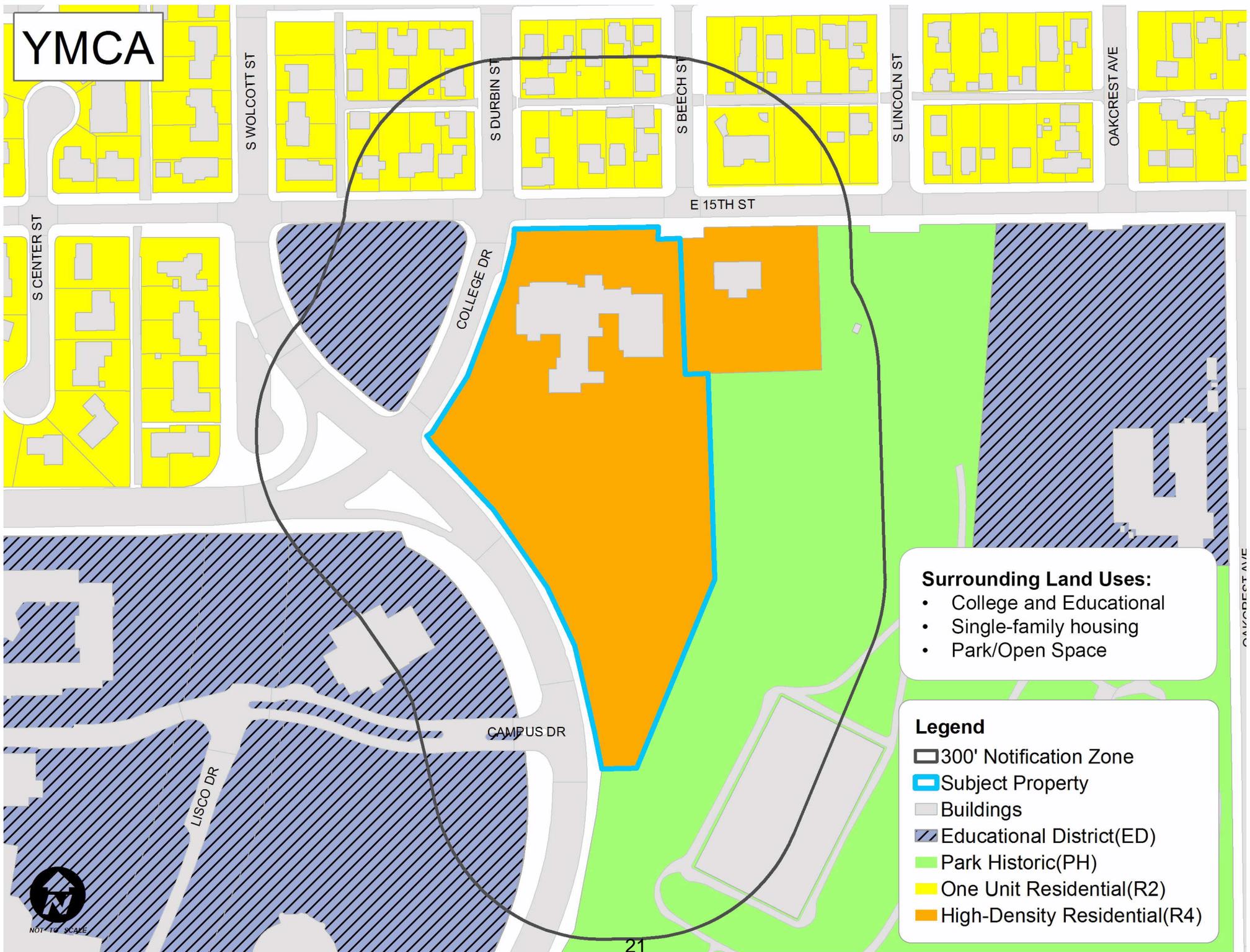
Facing North



Facing South



YMCA



- Surrounding Land Uses:**
- College and Educational
  - Single-family housing
  - Park/Open Space

- Legend**
- ◻ 300' Notification Zone
  - ▭ Subject Property
  - Buildings
  - ▨ Educational District(ED)
  - Park Historic(PH)
  - One Unit Residential(R2)
  - High-Density Residential(R4)

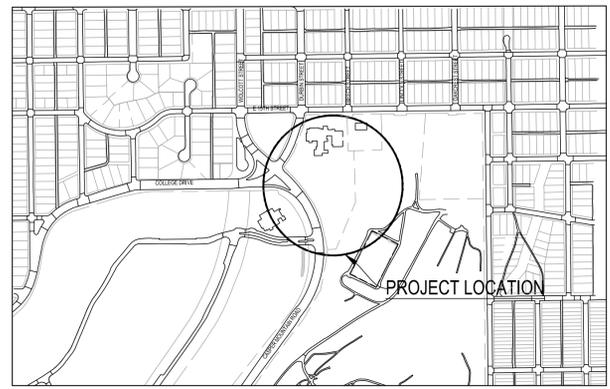
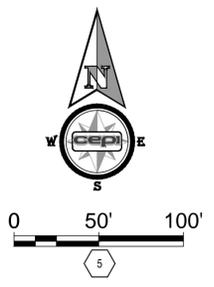
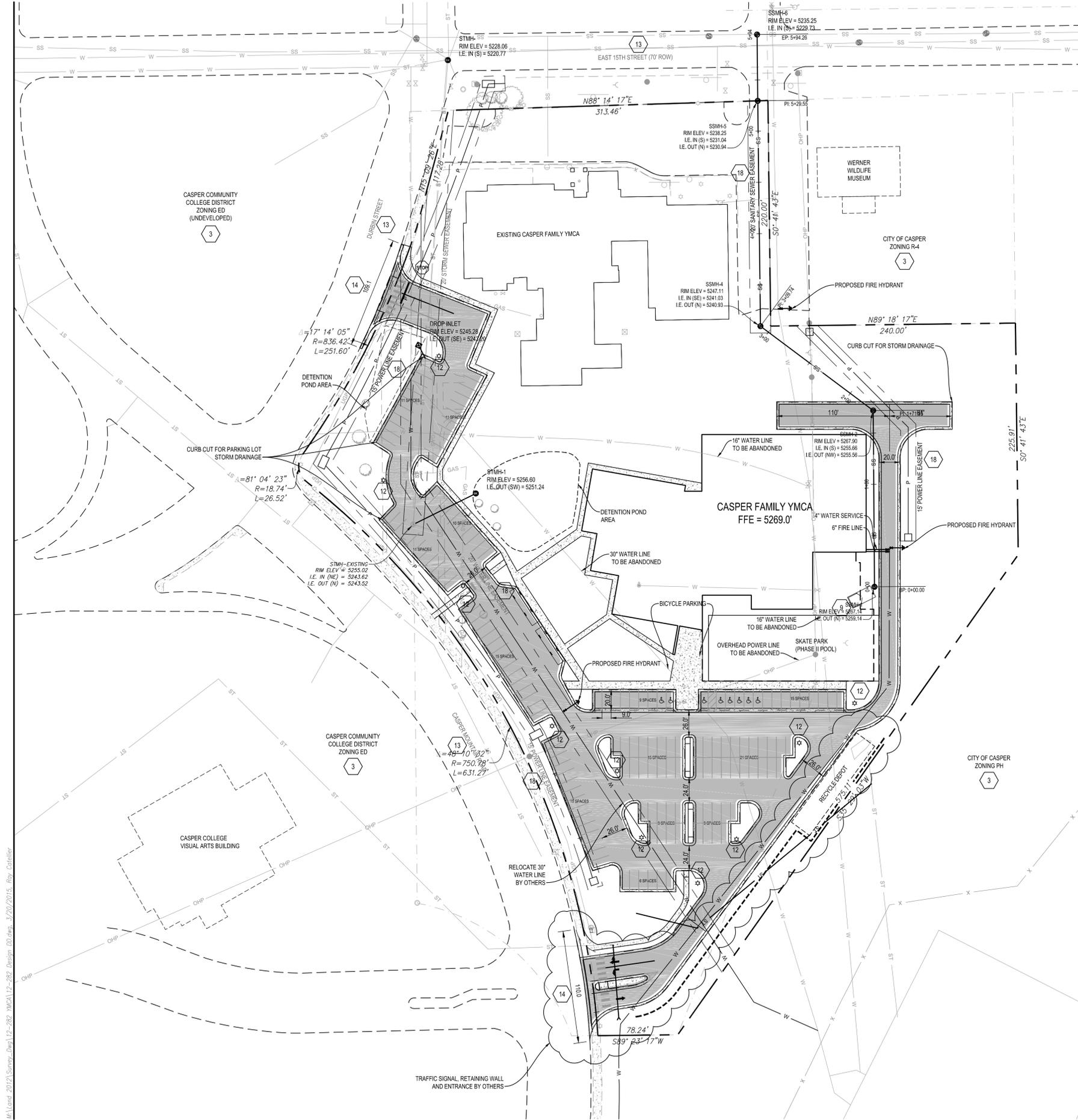
## Dee Ann Hardy

---

**From:** Jan Clemons <janclemons@gmail.com>  
**Sent:** Wednesday, April 15, 2015 11:02 AM  
**To:** Dee Ann Hardy  
**Subject:** 315 E. 15th St.

I live at 236 E. 15th and would like to heartily endorse the extension of the YMCA.  
It's a wonderful idea that will enhance recreation in the city. Please vote in favor of this project.

Jan Clemons

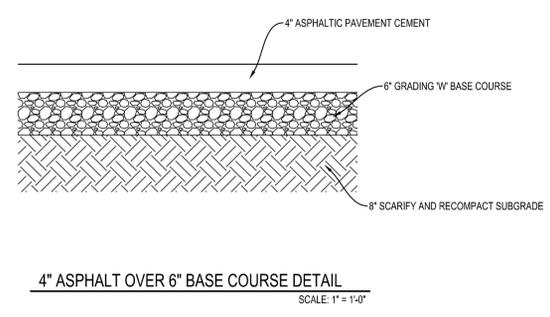


CITY OF CASPER  
VICINITY MAP  
1" = 600'

1	LEGAL DESCRIPTION AND COMMON ADDRESS -LEGAL DESCRIPTION- TO THE CITY OF CASPER NATRONA COUNTY, WYOMING -COMMON ADDRESS- 1611 CASPER MOUNTAIN ROAD CASPER, WYOMING 82801	12	AS SHOWN ON PLAN	22	PROPOSED RETAINING WALL
4	CURRENT ZONING: PROPOSED ZONING: HIGH DENSITY RESIDENTIAL HIGH DENSITY RESIDENTIAL	13-15	AS SHOWN ON PLAN	23	PROPOSED CONTOURS
6	AS SHOWN ON PLAN	16	NOT APPLICABLE TO THIS SITE	24	EXISTING CONTOURS
7	BUILDING HEIGHT: BUILDING SETBACKS: NORTH - EAST - SOUTH - WEST -	17-19	AS SHOWN ON PLAN	25	PROPOSED DOMESTIC WATER SERVICE
8	NOT APPLICABLE TO THIS SITE	20	GENERAL NOTES	26	PROPOSED FIRE SERVICE CONNECTION
9	AS SHOWN ON PLAN	a.	TOTAL LAND AREA:	27	PROPOSED SANITARY SEWER CONNECTION
10	NOT APPLICABLE TO THIS SITE	b.	TOTAL BUILDING FOOTPRINT:	28	EXISTING FIRE HYDRANT W/VALVE
11	NOT APPLICABLE TO THIS SITE	c.	PERCENTAGE OF LAND COVERED BY BUILDINGS:	29	PROPOSED FIRE HYDRANT W/VALVE
		d.	BUILDING HEIGHT(S):	30	EXISTING SEWER MANHOLE
		e.	NUMBER OF STORIES AND TOTAL LEASABLE S.F.:	31	PROPOSED SEWER MANHOLE
		f.	NUMBER OF PARKING SPACES REQUIRED:	32	EXISTING STORM SEWER MANHOLE
		g.	NUMBER OF PARKING SPACES PROVIDED:	33	EXISTING TELEPHONE PEDESTAL
		h.	SQUARE FOOTAGE OF ALL LANDSCAPED AREAS:	34	PROPOSED LIGHT POLE
		i.	PERCENTAGE OF SITE COVERED BY LANDSCAPING:	35	PROPOSED STOP BAR
		j.	AREA TO BE DISTURBED:	36	PROPOSED DOUBLE YELLOW STRIPING
				37	PROPOSED STOP SIGN
				38	PROPOSED TRASH RECEPTACLE

**LEGEND:**

W	EXISTING WATERLINE W/VALVE
W	PROPOSED WATERLINE W/VALVE
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
ST	EXISTING STORM DRAIN WINLET
ST	PROPOSED STORM LINE WINLET
UGT	EXISTING GAS LINE
GAS	EXISTING UNDER GROUND TELEPHONE LINE
UGP	EXISTING UNDERGROUND POWER
	PROPOSED UTILITY EASEMENT
	PROPOSED LEASE BOUNDARY
	PROPOSED RETAINING WALL
	PROPOSED CONTOURS
2" DS	PROPOSED DOMESTIC WATER SERVICE
6" FS	PROPOSED FIRE SERVICE CONNECTION
4" SS	PROPOSED SANITARY SEWER CONNECTION
	EXISTING FIRE HYDRANT W/VALVE
	PROPOSED FIRE HYDRANT W/VALVE
	EXISTING SEWER MANHOLE
	PROPOSED SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING TELEPHONE PEDESTAL
	PROPOSED LIGHT POLE
	PROPOSED STOP BAR
	PROPOSED DOUBLE YELLOW STRIPING
	PROPOSED STOP SIGN
	PROPOSED TRASH RECEPTACLE



4" ASPHALT OVER 6" BASE COURSE  
SCALE: 1" = 1'-0"

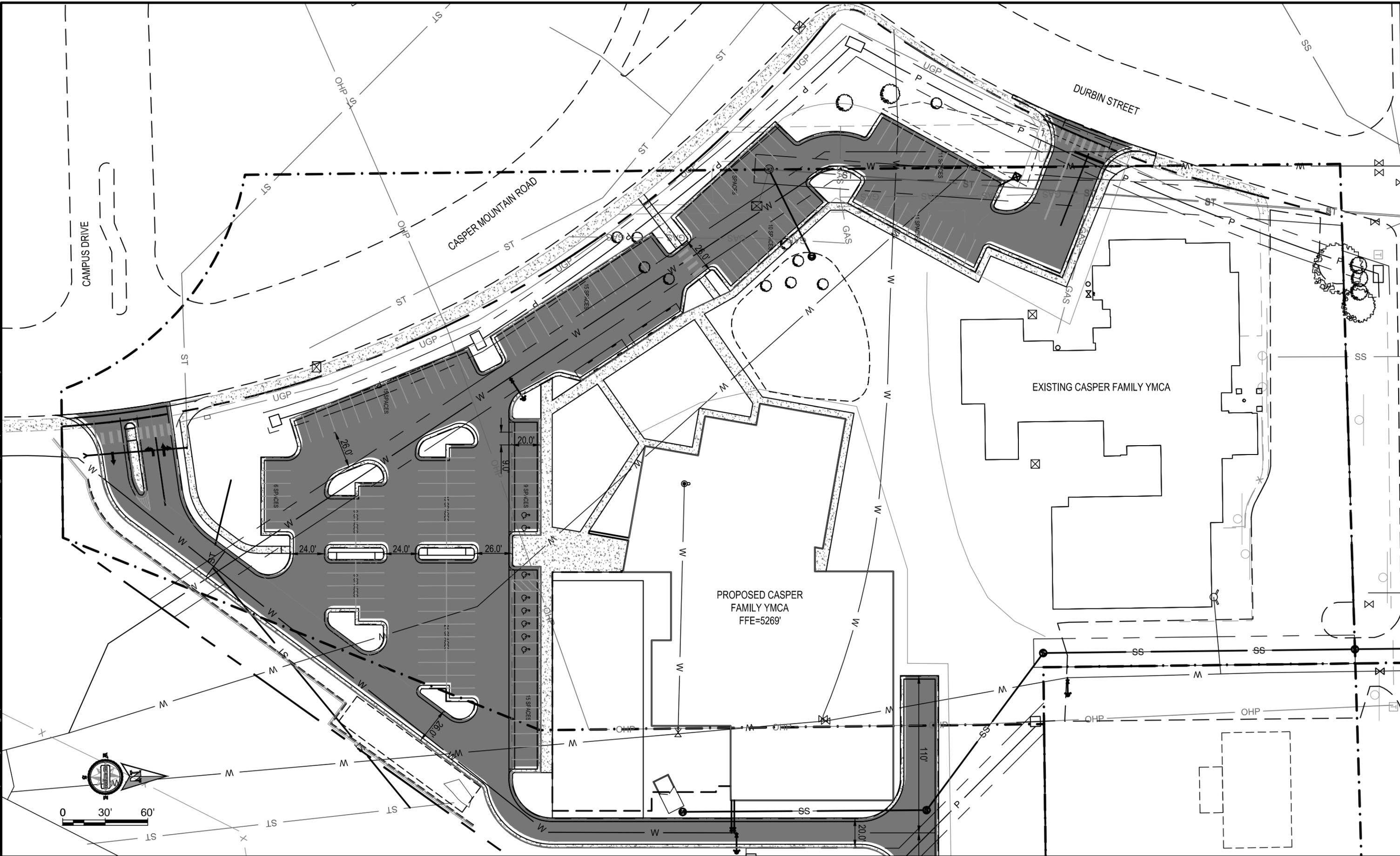
M:\Ltrc\2013\Survey\04112-282\MCA112-282\Design\00\04112-282\04112-282.dwg, J/20/2015, Roy Coltraine



Civil Engineering Professionals, Inc.  
6080 W. 26th Ave., Suite 100  
Casper, WY 82401  
Phone: 307.266.4166 Fax: 307.266.0103  
www.cepi-casper.com

DATE:	
REVISIONS:	
<p><b>YMCA</b> <b>SITE PLAN</b> <b>CASPER, WYOMING</b></p>	
PROJECT #:	12-282
DATE:	4/23/15
DRAWN BY:	RC
SITE PLAN	
SHEET	
<b>C1.0</b>	

M:\Land 2012\Survey\_Dwg\12-282\_YMCA\12-282\_Design\_DD.dwg, 8/31/2011, Ray Catellier



DATE	REVISIONS	CHECKED	APPROVED	W.O. NO.

DRAWN BY:	CHECKED BY:	APPROVED BY:
DATE: 04/15	DATE: 04/15	DATE: 04/15

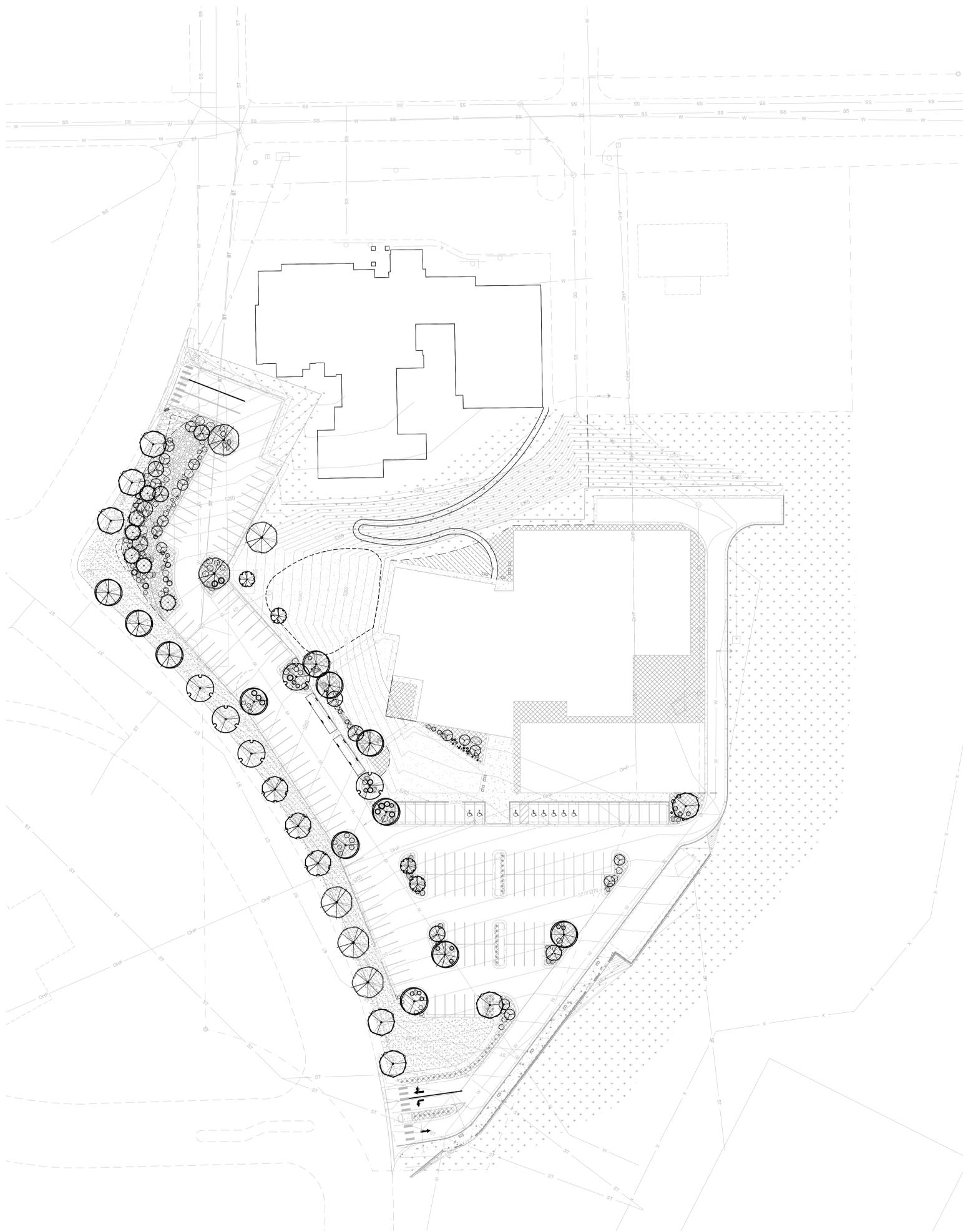


**Civil Engineering Professionals, Inc.**  
 6080 Enterprise Drive - Casper, Wyoming 82609 • (307) 266-4346 • (307) 266-0103 fax

YMCA  
 CASPER WYOMING

YMCA SITE PLAN

SHEET  
 1 of 1



0 40' 80'

REFERENCE NOTES SCHEDULE			
PLANTING ACCESSORIES			
CODE	DESCRIPTION	QTY	DETAIL
32-94	STEEL - GREEN POWDER COATED LANDSCAPE EDGING	708 LF	3/L1.2
PLANTING			
SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	2-3" ROUND RIVER ROCK	4,452 SF	
[Symbol]	DECORATIVE ROCK MULCH	23,153 SF	
[Symbol]	NATIVE SEED	103,925 SF	
[Symbol]	4-6" ROUND RIVER ROCK	1,680 SF	
[Symbol]	RUBBER PLAYGROUND INFILL	756 SF	
FURNITURE			
SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	LANDSCAPE BOULDER	30	
[Symbol]	LANDSCAPE FORMS TNSQ-49-D-VT TOWNE SQUARE BACKED BENCH, 49 LENGTH, VERTICAL STEEL STRAP SEAT, WITH CENTER DIVIDER, FREESTANDING SURFACE MOUNT	7	
[Symbol]	LANDSCAPE FORMS TNSQ-70-D-VT TOWNE SQUARE BACKED BENCH, 70 LENGTH, VERTICAL STEEL STRAP SEAT, WITH TWO INTERMEDIATE DIVIDERS, FREESTANDING SURFACE MOUNT	7	



DESCRIPTION	DATE
DESIGN DEVELOPMENT	
Project Number	12-262
Date	2015.04.10
Drawn By	JF
Checked By	JF
Copyright	JF

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Sheet Name  
 LANDSCAPE LAYOUT PLAN

**L-1.0**



PLANT SCHEDULE								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	ACE AUT	4	ACER FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2.5'CAL		
	ACE AMU	9	ACER GINNALA	AMUR MAPLE	B & B	1.5'CAL		
	ACE BOX	8	ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER MAPLE	B & B	2.5'CAL		
	CEL PRA	5	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE HACKBERRY	B & B	2'CAL		
	FRA AUT	6	FRAXINUS PENNSYLVANICA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	B & B	2'CAL		
	GLE INS	7	GLEDTISIA TRIACANTHOS INERMIS 'HARVE' TM	NORTHERN ACCLAIM THORNLESS HONEY LOCUST	B & B	2.5'CAL		
	PIC COL	3	PICEA PUNGENS	COLORADO SPRUCE	EXISTING			
	PIN PON	3	PINUS PONDEROSA	PONDEROSA PINE	B & B		6'-8' H	
	POP ACU	3	POPULUS X ACUMINATA	LANCELEAF POPLAR	B & B	2'CAL		
	PRU CAN	16	PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	B & B	2'CAL		
	PYR AUT	4	PYRUS CALLERYANA 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR	B & B	1.5'CAL		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	
	EUO COM	4	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	5 GAL			
	JUN CHI	12	JUNIPERUS CHINENSIS 'GOLD STAR' TM	GOLD STAR JUNIPER	5 GAL			
	JUN BLU	13	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GAL			
	JUN HOR	6	JUNIPERUS HORIZONTALIS 'ICEE BLUE' TM	ICEE BLUE JUNIPER	5 GAL			
	PHY OPU	18	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	5 GAL			
	PIN MUG	20	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	5 GAL			
	PRU X C	22	PRUNUS X CISTENA	PURPLE LEAF SAND CHERRY	5 GAL			
	RHU GRO	14	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL			
	RHU GLA	6	RHUS GLABRA	SMOOTH SUMAC	5 GAL			
	RHU TRI	10	RHUS TRILOBATA	SKUNKBUSH SUMAC	5 GAL			
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	
	DEL DYE	3	DELOSPERMA DYERI 'RED MOUNTAIN'	RED MOUNTAIN ICEPLANT	1 GAL			
	IBE TAH	3	IBERIS SEMPERVIRENS 'TAHOE'	CANDYTUFT	1 GAL			
	LIA PYC	7	LIASTRIS PYCNOSTACHYA	GAYFEATHER	1 GAL			
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	
	AND GER	19	ANDROPOGON GERARDII	BIG BLUE STEM	5 GAL			
	CAL KAR	59	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL			
	ERI RAV	7	ERIANTHUS RAVENNAE	RAVENNA GRASS	5 GAL			
	HEL SEM	14	HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL			
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	SPACING
	FES RH	39,495 SF	FESTUCA ARUNDINACEA 'RHIZOMATOUS RTF'	RTF TALL FESCUE	ROLL SOO			

**LANDSCAPING NOTES**

- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION, EXCAVATION, OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTORS RESPONSIBILITIES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE PREPARED AND SEEDED OR SODDED AS SPECIFIED. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL OTHER CONTRACT DOCUMENTS TO DETERMINE FULL SCOPE OF POTENTIAL SITE DISTURBANCE TO BE RECLAIMED.
- THE INSTALLATION OF LAWNS, PLANT MATERIAL AND IRRIGATION SYSTEM SHALL BE PERFORMED BY ONE CONTRACTOR.
- CONTRACTOR SHALL FURNISH REQUIRED PLANT MATERIALS, INCLUDING TREES, SHRUBS, GRASSES, AND PERENNIALS OF ALL DESCRIPTIONS, FOR THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATION.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- NO TREES SHALL BE PLANTED CLOSER THAN 10' TO A FIRE HYDRANT. ADJUST LAYOUT IF NECESSARY.
- NO TREE OR SHRUB SHALL BE PLANTED OVER OR WITHIN 5' LATERALLY FROM ANY UNDERGROUND UTILITIES.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL PROVIDE PLANTS FREE FROM INSECTS AND DISEASES, SUN-SCALD INJURIES, ABRASIONS OF THE BARK, OR OTHER OBJECTIONABLE BLEMISHES. WEAK AND/OR DISFIGURED PLANTS WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL PROVIDE FIELD GROWN NURSERY TREES, DUG WITH A BALL OF EARTH STILL INTACT IN WHICH THEY ARE GROWING, WRAPPED IN BURLAP OR OTHER SUITABLE MATERIAL TO COMPLETELY COVER THE ROOT BALL WITH A LACING OR OTHER BALL SUPPORTING DEVICE ON THE OUTSIDE TO HOLD THE BALL IN A FIRM, RIGID CONDITION.
- CONTAINER GROWN PLANTS SHALL BE HEALTHY, VIGOROUS, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWN. THEY SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION. THE PLANTS SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM ROOT BALL.
- ALL 1.5-2" CALIPER DECIDUOUS TREE SHALL HAVE A SINGLE LEADER, 12-14" HEIGHT, BRANCHING AT 6-7 FT HEIGHT WITH A UNIFORM CANOPY BRANCHING, BRANCH ANGLES SHALL BE NO LESS THAN 30°.
- ALL 6-8" TALL EVERGREEN TREES SHALL HAVE A HEIGHT TO SPREAD RATIO OF 5:3, WITH A SINGLE LEADER.
- CONTRACTOR SHALL PROVIDE PLANT MATERIAL IN CONFORMANCE WITH STATE AND FEDERAL LAWS WITH RESPECT TO INSPECTION FOR PLANT DISEASE AND INFECTIONS.
- CONTRACTOR SHALL PROVIDE INSPECTION CERTIFICATES REQUIRED BY LAW WITH EACH SHIPMENT, INVOICE, OR ORDER OF STOCK TO THE OWNER.
- PLANT MATERIALS FOR THIS PROJECT ARE SUBJECT TO INSPECTION BEFORE, DURING, AND POST PLANTING. DAMAGED PLANT MATERIAL, CONTAINERS, OR LOOSE, TORN, AND BROKEN ROOT BALLS WILL NOT BE APPROVED BY THE OWNER AND WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND MUST BE REMOVED FROM THE STORAGE AREA OR PROJECT.
- MAINTENANCE SERVICES TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR WILL BE EXPECTED TO FURNISH SERVICE AND MAINTENANCE OF ALL PLANTED AREAS THROUGH FINAL COMPLETION OR PROJECT OR AS REQUIRED PER THE REQUIREMENTS OF THE PROJECT WARRANTY PERIOD.
- ALL PLANT MATERIALS SHALL BE CERTIFIED BY THE STATE DEPARTMENT OF AGRICULTURE TO ASSURE THEM TO BE FREE OF DISEASE OR HAZARDOUS INSECTS.
- ALL FERTILIZER SHALL BE DELIVERED IN WATERPROOF BAGS SHOWING WEIGHT, CHEMICAL ANALYSIS, AND THE NAME OF THE MANUFACTURER.
- ALL PLANT MATERIAL SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL CONTAINERS WITH ALL LABELS INTACT AND LEGIBLE.
- CONTRACTOR WILL BE RESPONSIBLE TO PROTECT AND MAINTAIN PLANT LIFE DURING THE STORAGE PERIOD PRIOR TO PLANTING.
- INSTALLATION OF PLANT LIFE WILL NOT BE PERMITTED WHEN THE AMBIENT TEMPERATURES MAY DROP BELOW 35°F OR RISE ABOVE 90°F.
- CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY, WARRANTY TO INCLUDE COVERAGE FOR ONE ENTIRE GROWING SEASON FOR ALL DEAD OR UNHEALTHY PLANTINGS. ALL REPLACEMENT PLANTINGS SHALL BE REQUIRED TO BE OF THE SAME SIZE AND SPECIES AS SPECIFIED IN THE PLANT SCHEDULE, PLANTED IN THE FOLLOWING GROWING SEASON, WITH A NEW WARRANTY COMMENCING ON THE DATE OF PLANTING.
- SOIL MATERIALS:**
  - ALL SOIL BACKFILL WILL BE FREE OF ROCKS LARGER THAN 1.5" STICKS, ROOTS AND OTHER DEBRIS.
  - TOPSOIL TO BE STERILE, WEED FREE, PROCESSED, AND PASSED THROUGH A 3/4" SCREEN.
  - TOPSOIL TO BE INSTALLED IN ALL NEW SITE LANDSCAPE AREAS, NATIVE GRASS PLANTINGS, AND PLANTING RINGS OR IN ANY AREAS DESIGNATED IN THE PLANS FOR CONSTRUCTION.
- SOIL AMENDMENT MATERIALS:**
  - COMPOST SHALL BE 'GLACIER GOLD', 'SOIL PREP', OR AN APPROVED EQUAL.
  - FERTILIZER SHALL BE 100% ORGANIC, TRANSPARENT ROOT STIMULATOR, BIOPLEX TRANSPARENT CONCENTRATE, OR APPROVED EQUAL.
- BOLDERS ENCOUNTERED DURING EXCAVATION FOR THE PROJECT SHALL BE HANDLED TO PREVENT SCARRING AND USED AS PART OF THE LANDSCAPING SCHEME, PLACE AS DIRECTED BY THE OWNER.
- WEED BARRIER FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC, 4.75OZ. SQ.YD. OR HEAVIER WITH METAL LANDSCAPE PINS. DO NOT INSTALL WEED BARRIER UNDER PERENNIALS AND GRASSES.
- CONTRACTOR SHALL USE 1.5" DIA. ROUND POSTS WITH TAPERED END, 8.0' IN LENGTH OR DUCKBILL ANCHORS FOR TREE ANCHORING.
- CONTRACTOR SHALL USE 3 ANCHORS FOR CONIFEROUS TREES, 3 ANCHORS FOR CONIFEROUS TREES WITH WEBBERG OR RUBBER TREE TIES MANUFACTURED SPECIFICALLY FOR USE ON TREES.
- CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ALL ANCHORING AT THE END OF ONE CONTINUOUS GROWING SEASON.
- CONTRACTOR SHALL COORDINATE IRRIGATION SYSTEM LAYOUT WITH PLANTINGS.
- AREAS THAT ARE TOO SMALL TO BE DRILL SEEDING SHALL BE BROADCAST, RAKED IN, AND ROLLED.
- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



**CASPER FAMILY YMCA**  
CASPER, WYOMING



**NOT FOR CONSTRUCTION**

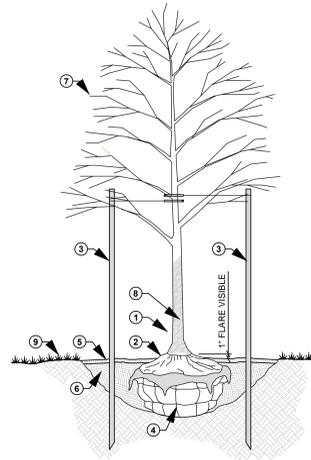
DESCRIPTION	DATE
DESIGN DEVELOPMENT	12.28.22
Project Number	2015.04.10
Date	
Drawn By	JF
Checked By	JF
Copyright	

Sheet Name: **LANDSCAPE PLANTING PLAN**

**L-1.1**



MOA ARCHITECTURE  
 WYOMING | COLORADO  
 302 S. DAVID STREET, SUITE 210  
 CASPER, WYOMING 82601  
 P: 307.266.8600 | F: 307.215.6310  
 web: www.moaarch.com



**LEGEND**

- 1 GRAFT UNION TYP. 4-6" ABOVE ROOT FLARE.
- 2 ROOT FLARE VISIBLE ABOVE FINISH GRADE. REMOVE EXCESS SOIL FROM BALL AS NEEDED.
- 3 TWO (2) 1/8" STEEL TEE POSTS PER TREE, 14 GA. SOFT WIRE AND 1-1/2"x18" NYLON STRAP WITH BRASS GROMMET TIES ON TRUNK. STAKES SHALL NOT PENETRATE ROOT BALL. DO NOT OVER-TIGHTEN AROUND TREE. TIES SHOULD BE SNUG ENOUGH TO PROVIDE SUPPORT WHILE ALLOWING TREE TO SWAY. CONTRACTOR TO REMOVE STAKES & TIES AT END OF WARRANTY PERIOD.
- 4 REMOVE WIRE BASKET & ALL BURLAP. INSPECT ROOT BALL AND PRUNE OFF AND GIRDLING ROOTS. PRESS ALL HAIR ROOTS DOWN UNDER STRUCTURAL ROOT FLARE TO LEAVE TRUNK & ROOT FLARE RADIALY.
- 5 3" MULCH IN TREE'S DRIP RING AREA. NO WEED BARRIER. END MULCH 3" FROM TRUNK.
- 6 DIG HOLE MIN. 2x WIDTH OF BALL. ROUGHEN SIDES TO BREAK GLAZING. ROOT BALL TO REST ON UNDISTURBED SOIL. BACKFILL HOLE WITH EXISTING SOIL (IN SANDY TO SANDY LOAM SOILS, ADD 20% MAX. BY VOLUME ORGANIC MATERIAL) IN LAYERS. SETTLE WITH WATER. WATER IN THOROUGHLY AFTER INSTALLATION TO ELIMINATE AIR POCKETS.
- 7 PRUNE AS NEEDED TO RETAIN NATURAL FORM.
- 8 ASPHALT COATED PAPER TREE WRAP TO BOTTOM OF FIRST BRANCH. SECURE WITH ELECTRICAL TAPE. DO NOT WRAP TIGHTLY. CONTRACTOR TO REMOVE PAPER AT END OF WARRANTY PERIOD.
- 9 FINISH GRADE - SLOPE AWAY FROM TREES WHEREVER POSSIBLE.

**NOTES:**

1. STAKING IS NOT MANDATORY. HOWEVER, THE CONTRACTOR SHALL REPLACE ANY UNSTAKED TREE WITHOUT QUESTION IF DIRECTED TO DO SO AT ANY TIME THROUGH COMPLETION OF THE WARRANTY PERIOD.

**1 TYPICAL TREE PLANTING**

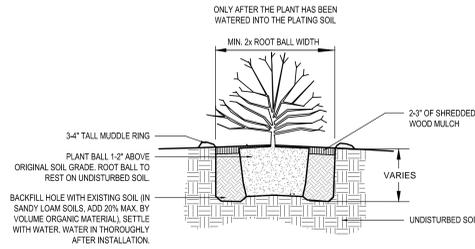
NOT TO SCALE

32 9343.39-01

**2 TYPICAL SHRUB PLANTING**

NOT TO SCALE

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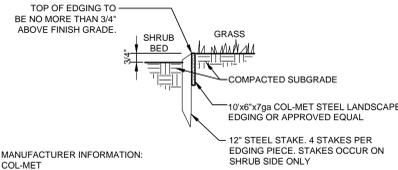


- NOTES:**
1. PRUNE PLANT AS NEEDED TO RETAIN NATURAL FORM.

**3 STEEL EDGING**

NOT TO SCALE

32 9413.23-02



MANUFACTURER INFORMATION:  
 COL-MET  
 GARLAND, TEXAS  
 1-800-829-8225

**NOTES:**

1. (4) 12" STAKES INCLUDED WITH EVERY 10' SECTION.
2. COMPACT SOILS ON EITHER SIDE OF INSTALLED EDGING TO PREVENT EDGING FROM RISING.
3. TOP OF EDGING TO BE INSTALLED NO HIGHER THAN 3/4" FROM TOP OF FINISH GRADE.
4. STAKES NEED TO BE HAMMERED COMPLETELY INTO THE PROVIDED POCKETS AND SHOULD BE NO HIGHER THAN 3/4" FROM THE TOP OF THE EDGING.
5. USE PREFABRICATED CORNERS WHERE NEEDED.

CASPER FAMILY YMCA  
 CASPER, WYOMING



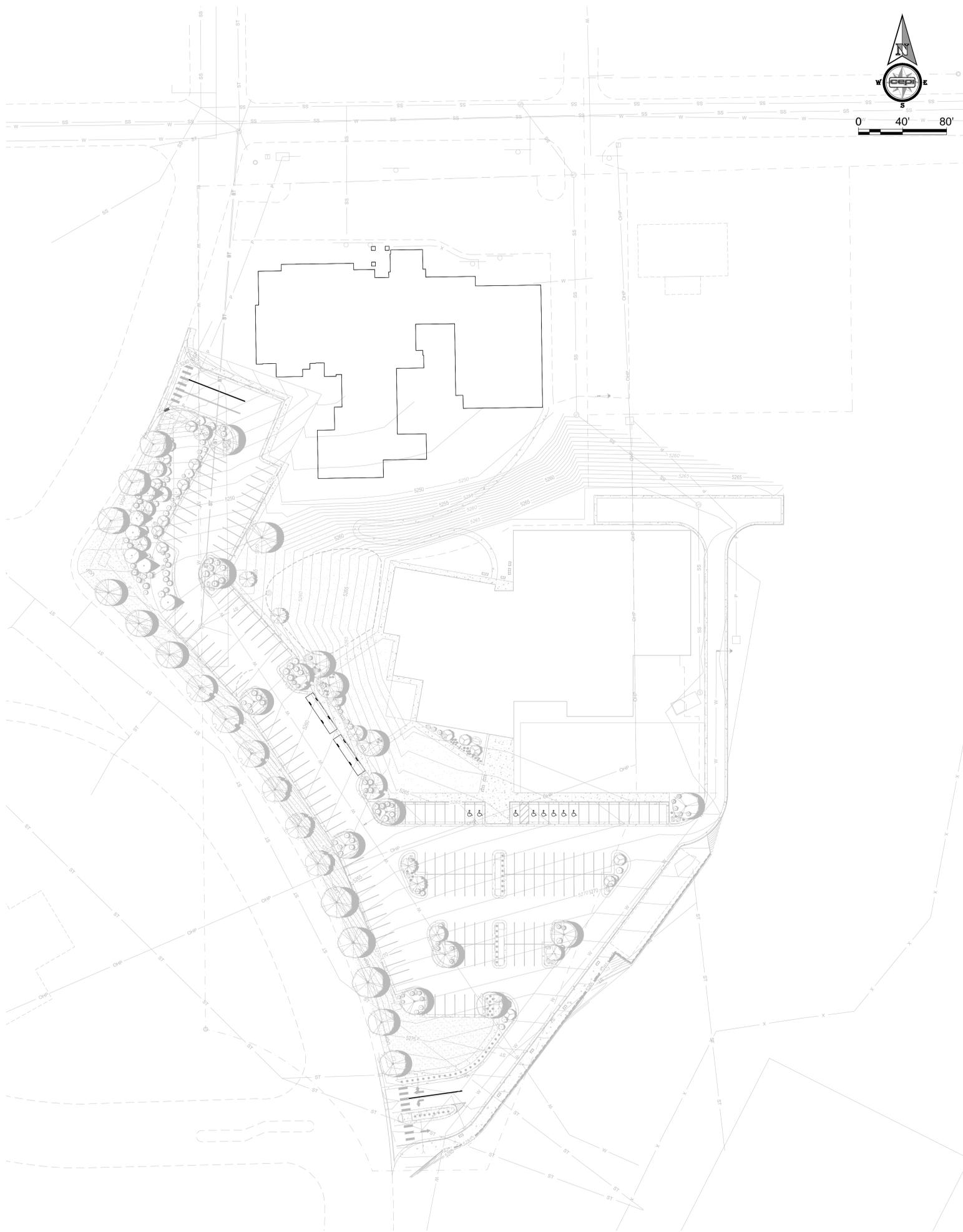
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DESCRIPTION	DATE
DESIGN DEVELOPMENT	12.262
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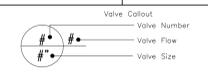
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Sheet Name  
 LANDSCAPE  
 DETAILS

L-1.2

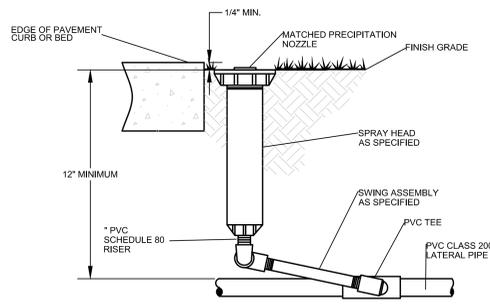


IRRIGATION SCHEDULE				
SYMBOL	MANUFACTURER/MODEL	PSI		
	HUNTER PROS-04-PRS30-CV SHORT RADIUS NOZZLES	30		
	HUNTER PROS-04-PRS30-CV 5' STRIP SPRAY	30		
	HUNTER PROS-04-PRS30-CV 5' RADIUS	30		
	HUNTER PROS-04-PRS30-CV 8' RADIUS	30		
	HUNTER PROS-04-PRS30-CV 9' SIDE STRIP SPRAY	30		
	HUNTER PROS-04-PRS30-CV 10' RADIUS	30		
	HUNTER PROS-04-PRS30-CV 12' RADIUS	30		
	HUNTER PROS-04-PRS30-CV 15' RADIUS	30		
	HUNTER PROS-04-PRS30-CV 17' RADIUS	30		
	HUNTER PROS-04-PRS30-CV ADJ	30		
	HUNTER PROS-04-PRS30-CV STREAM 8 AND 16	30		
	HUNTER MP1000 PROS-04-PRS40-CV	40		
	HUNTER MP2000 PROS-04-PRS40-CV	40		
	HUNTER MP3000 PROS-04-PRS40-CV	40		
	HUNTER MP3500 PROS-04-PRS40-CV	40		
	HUNTER MP800SR PROS-04-PRS40-CV	40		
	HUNTER MP CORNER PROS-04-PRS40-CV	40		
	HUNTER MP STRIP PROS-04-PRS40-CV	40		
	HUNTER I-20-04	45	1.50	31'
	HUNTER I-20-04	45	2.00	34'
	HUNTER I-20-04	45	2.50	35'
	HUNTER I-20-04	45	3.00	38'
	HUNTER I-20-04	45	4.00	40'
	HUNTER I-20-04	45	5.00	42'
	HUNTER I-20-04	45	6.00	43'
	HUNTER I-20-04	45	8.00	44'
	HUNTER PC2-101-40			DETAIL
	HUNTER PLD-10-12 (18)			DETAIL
	HUNTER ICV-G			DETAIL
	RAIN BIRD 33-DLRC			
	NIBCO T-113			
	HUNTER ET-WIND			
	WATER METER 2"			

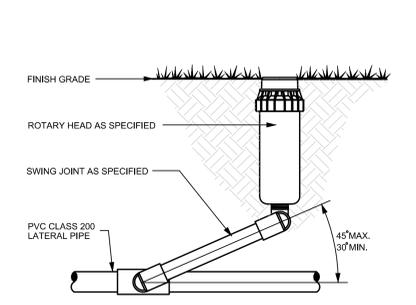


DESCRIPTION	DATE
DESIGN DEVELOPMENT	12.26.22
Project Number	2015.04.10
Date	JF
Drawn By	JF
Checked By	JF
Copyright	JF

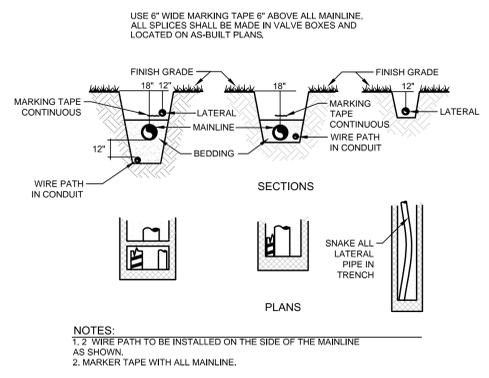
ALL DRAWING AND WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE REPRODUCED, DISSEMINATED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF MOA ARCHITECTURE.



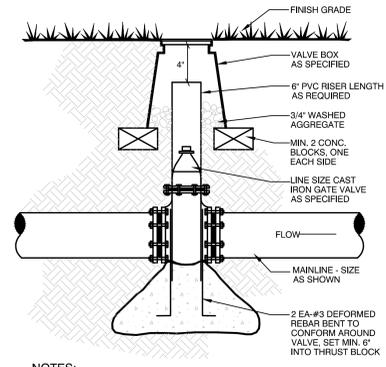
**1 TYPICAL SPRAY HEAD**  
 NOT TO SCALE 32 8403.13-03



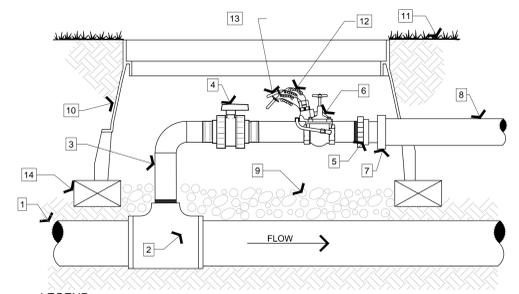
**2 TYPICAL ROTOR HEAD**  
 NOT TO SCALE 32 8403.16-02



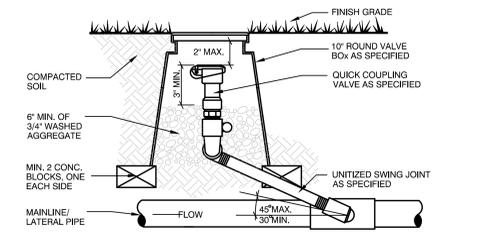
**3 TRENCHING DETAIL**  
 NOT TO SCALE 32 8409.76-06



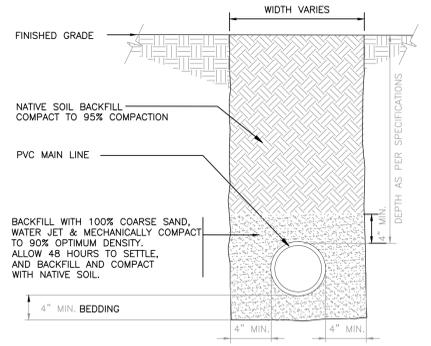
**4 MAINLINE ISOLATION VALVE**  
 NOT TO SCALE 32 8406.33-05



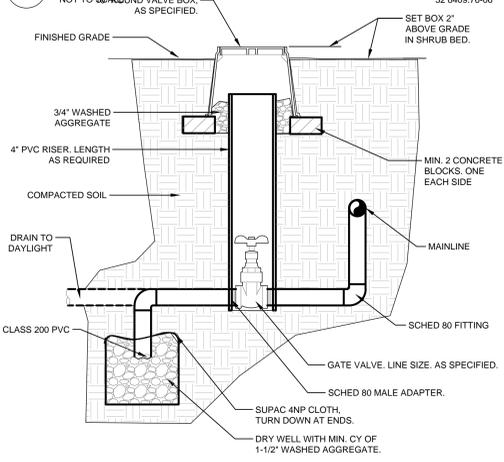
**5 REMOTE CONTROL VALVE**  
 NOT TO SCALE 32 8406.13-06



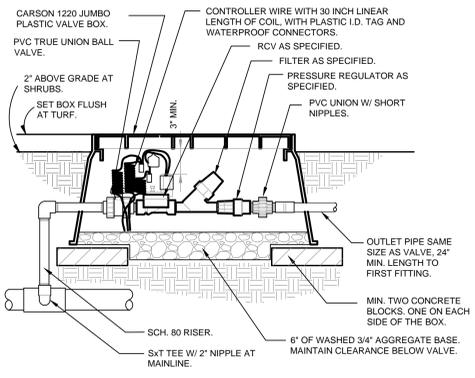
**6 TYPICAL QUICK COUPLER VALVE**  
 NOT TO SCALE 32 8406.43-05



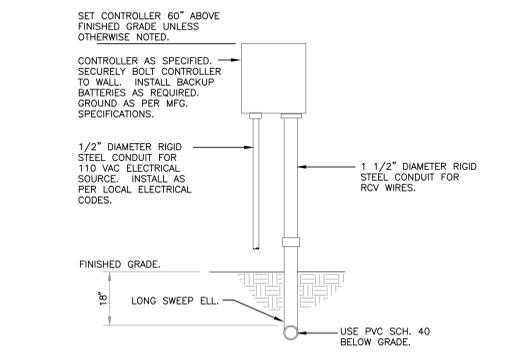
**7 SLEEVE AT ROAD**  
 1 1/2" = 1'-0" 32 8409.76-20



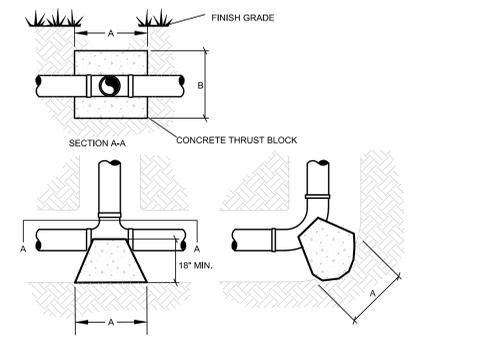
**8 1" MAINLINE DRAIN**  
 NOT TO SCALE 32 8409.86-01



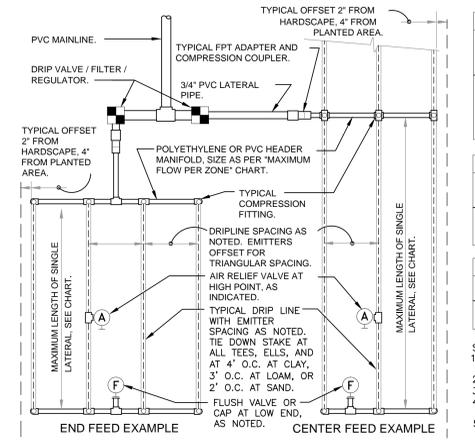
**9 DRIP CONTROL VALVE**  
 NOT TO SCALE 32 8413.76-13



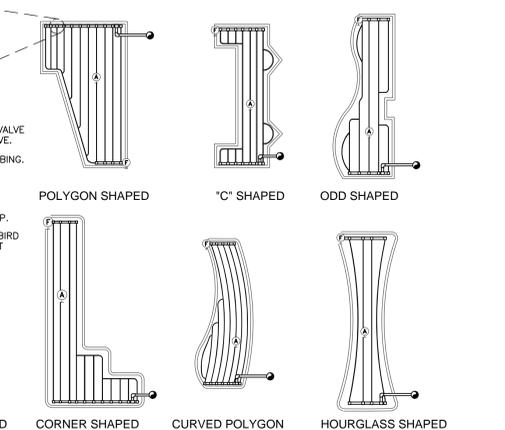
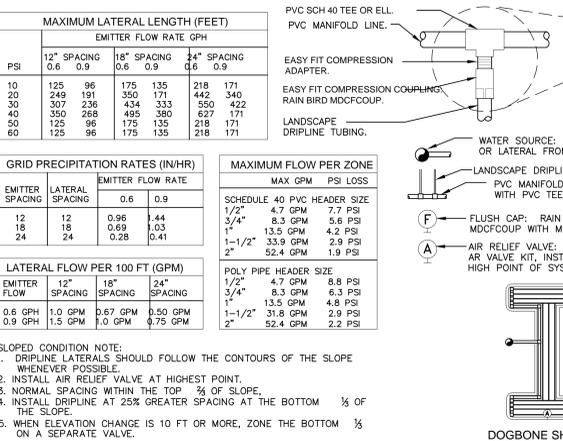
**10 WALL MOUNT CONTROLLER**  
 1" = 1'-0" 32 8409.13-01



**11 TYPICAL THRUST BLOCKS**  
 NOT TO SCALE 32 8409.76-21



**12 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS**  
 N.T.S. 32 8413.59-01



32 8413.59-01

DESCRIPTION	DATE
DESIGN DEVELOPMENT	
Project Number	12.262
Date	2015.04.10
Drawn By	JF
Checked By	JF
Copyright	

Sheet Name  
 IRRIGATION DETAILS

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DATE	REVISIONS	CHECKED	APPROVED

W.O. NO.	DRAWN BY:	CHECKED BY:	APPROVED BY:
12-282	RC	NL	TB
	DATE: 04/15	DATE: 04/15	DATE: 04/15



**Civil Engineering Professionals, Inc.**  
 6080 Enterprise Drive - Casper, Wyoming 82609 • (307) 266-4346 • (307) 266-0103 fax

CITY OF CASPER  
 CASPER WYOMING

CASPER FAMILY YMCA  
 ARCHITECTURAL ELEVATIONS

SHEET  
 1 of XX

April 24, 2015

MEMO TO: James Holloway, Chairman  
Members, Planning and Zoning Commission

FROM: Liz Becher, Community Development Director  
Craig Collins, AICP, City Planner  
Aaron Kloke, Planner I

SUBJECT: **PLN-15-017-S** – Site plan approval for a 39,100 square foot (foot print), mini-storage facility on Lot 1, Terrace Addition No. 3, located at 407 North Walsh Drive. Applicant: Torry Kersenbrock.

Recommendation:

In the absence of information that may be presented during the public hearing, staff recommends that the Planning and Zoning Commission approve the site plan for the construction of a 39,100 square foot (foot print), mini-storage facility on Lot 1, Terrace Addition No. 3, located at 407 North Walsh Drive, with the following conditions:

1. Prior to the issuance of a building permit, the applicant shall obtain City Engineering Department approval of a stormwater drainage study for the site.
2. All exterior light fixtures on the site shall be full-cutoff fixtures to prevent off-site glare and light trespass.
3. If and when Post Office Road is ever accepted by the City to be a dedicated public right-of-way, the property owner will be required to participate in a proportionate share of the cost of constructing any necessary improvements or upgrades to bring the street into compliance with then-current City construction standards, including, but not limited to, the provision of sidewalks, street lights, etc.
4. The applicant shall provide all necessary utility and drainage easements, in a form acceptable to the City, prior to the issuance of a certificate of occupancy.
5. The applicant shall obtain, and provide to the Community Development office, proof of City Fire Department approval of the site plan regarding access, turning radii, and hydrant placement prior to the issuance of a building permit.
6. Prior to the construction of the proposed fence on the site, the applicant shall obtain the necessary permit through the Community Development Department, and the “decorative fence” shown along the north side of the property shall be reviewed by Community Development staff to determine if said fence is indeed “decorative,” in that no elevations or design details have been provided for the Planning and Zoning Commission’s review at the time the staff report was prepared.

### Code Compliance:

Staff has complied with all requirements of Section 17.12.150 of the Casper Municipal Code pertaining to site plans, including notification of property owners within three hundred (300) feet by first class mail, posting of the property, and publishing legal notice in the Casper Star Tribune. At the time the staff report was prepared, staff has not received any public input regarding this case.

Section 17.12.150(D) of the Casper Municipal Code provides the review criteria for the approval of a site plan. Those criteria include whether the site plan is compatible with the goals and policies of many of the City's adopted plans. Other design-related criteria for the approval of a site plan includes the following:

- Promote the efficient use of land by means of a sound arrangement of buildings, safe and functional points of access, well planned parking circulation systems, and adequate sidewalks and pathways for pedestrians.
- Provide for landscaping, and within high density housing complexes, usable open space, such as, but not limited to, bicycle paths, playground areas, courtyards, areas for active recreation, swimming pools, landscaping, gardens, walks, outdoor seating areas, outdoor picnic areas, and similar open space.
- Preserve and utilize where possible, existing landscape features and amenities, and blend such features with the new structures and other improvements.

### Summary:

Torry Kersenbrock has applied for site plan approval for the construction of a mini-storage facility to be located at 407 North Walsh Drive, on Lot 1, Terrace Addition No. 3. The property is approximately 6.1-acres in size, vacant, and currently zoned C-4 (Highway Business). A mini-storage facility is a permitted use in the C-4 (Highway Business) zoning district. Land uses in the surrounding area are a mix of commercial and multi-family residential. The proposed mini-storage facility consists of multiple buildings with a combined total footprint of 39,100 square feet. The Planning and Zoning Commission is the final reviewing authority for all site plans for commercial buildings with a footprint over 20,000 square feet, but less than 43,560 square feet.

Access to the site is via a twenty-four (24) foot wide curb cut on Post Office Road, which is a privately owned and maintained roadway. An office and several parking spots for employees and customers have been provided at the southwest corner of the site. All drive aisles on the site have been designed to function as one-way aisles, with extra width provided so that vehicles can park and load/unload in front of their individual units, with adequate width still available for vehicles to pass. The applicant has provided landscaping along the existing pedestrian/bicycle trail along the west side of the site, and in addition, will be providing decorative fencing and ample landscaping along the interstate frontage of the site in recognition of the importance of improving the aesthetics of the interstate corridor through Casper. At this time, the applicant is not utilizing the entire 6.11-acres available on this lot, but is leaving a forty (40) foot gap at the south east portion of the mini-storage facility to allow access to the undeveloped balance of the

property for use in the future. A traffic study is not required, as mini-storages are not heavy traffic generators, and the threshold which requires a study of seventy-five (75) vehicle trips per peak hour will not be met. With the conditions recommended above, staff is providing a favorable recommendation on the project, in that all minimum requirements of the Casper Municipal Code have been met or exceeded.

# Eastside Storage Facility



DURANGO CT

WESTERN AVE

OLD GLENROCK HWY

E YELLOWSTONE HWY

US INTERSTATE I-25

POST OFFICE RD

PROVENCÉ CT

N WALSH DR

BRUHN WAY

N SUN DR

PRIVATE RD

N FOREST DR

PRIVATE RD



NOT TO SCALE

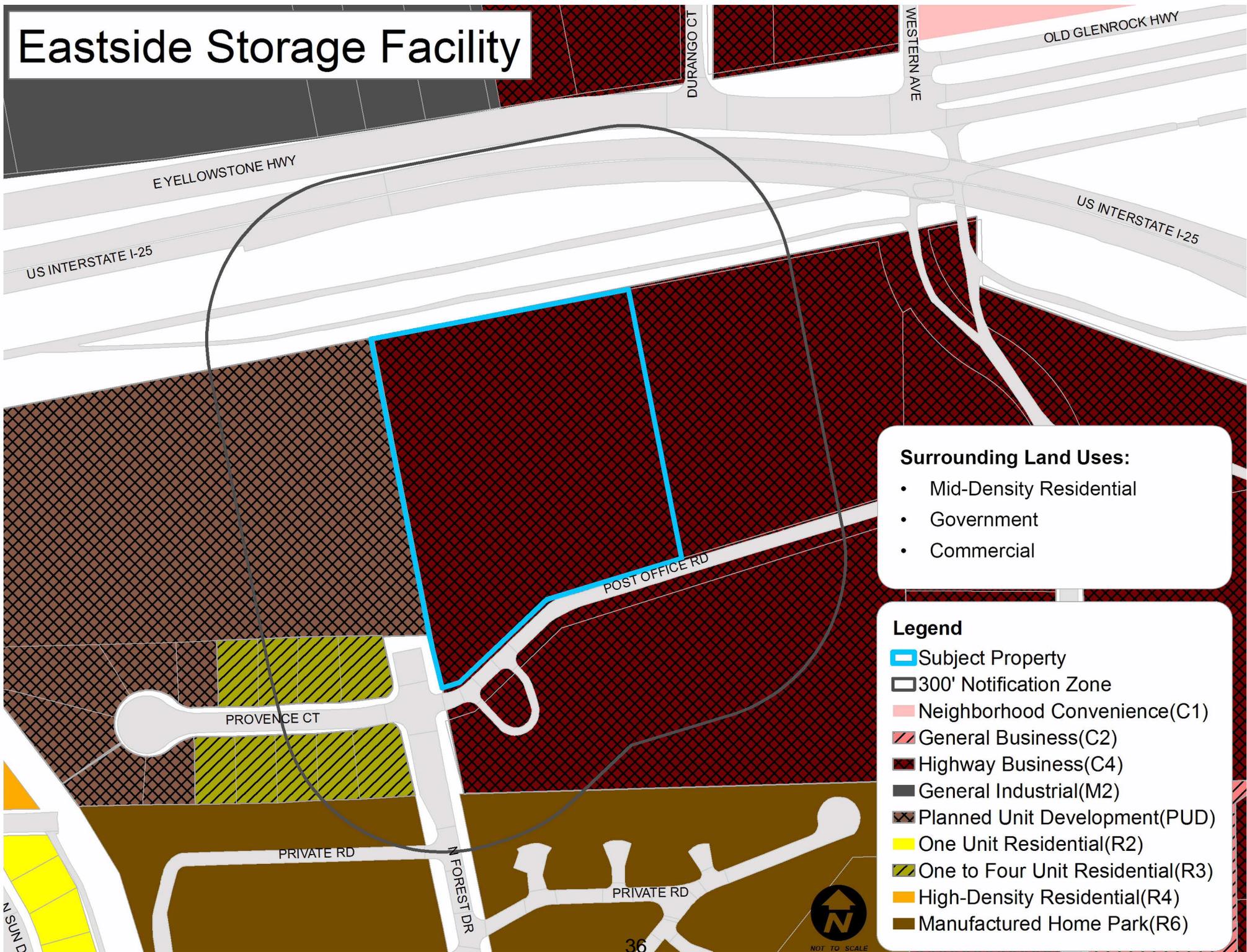
**Legend**  
 Subject Property

# Eastside Storage Facility

Facing North



# Eastside Storage Facility

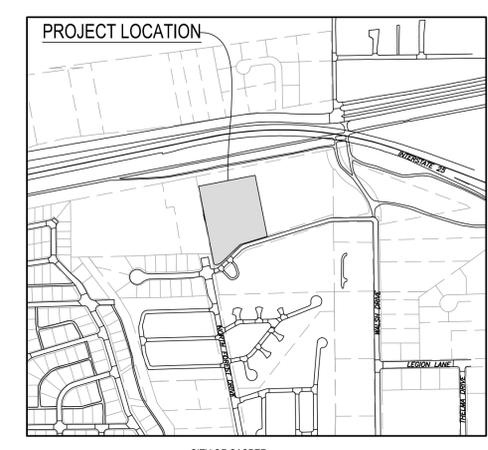
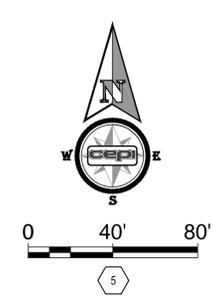
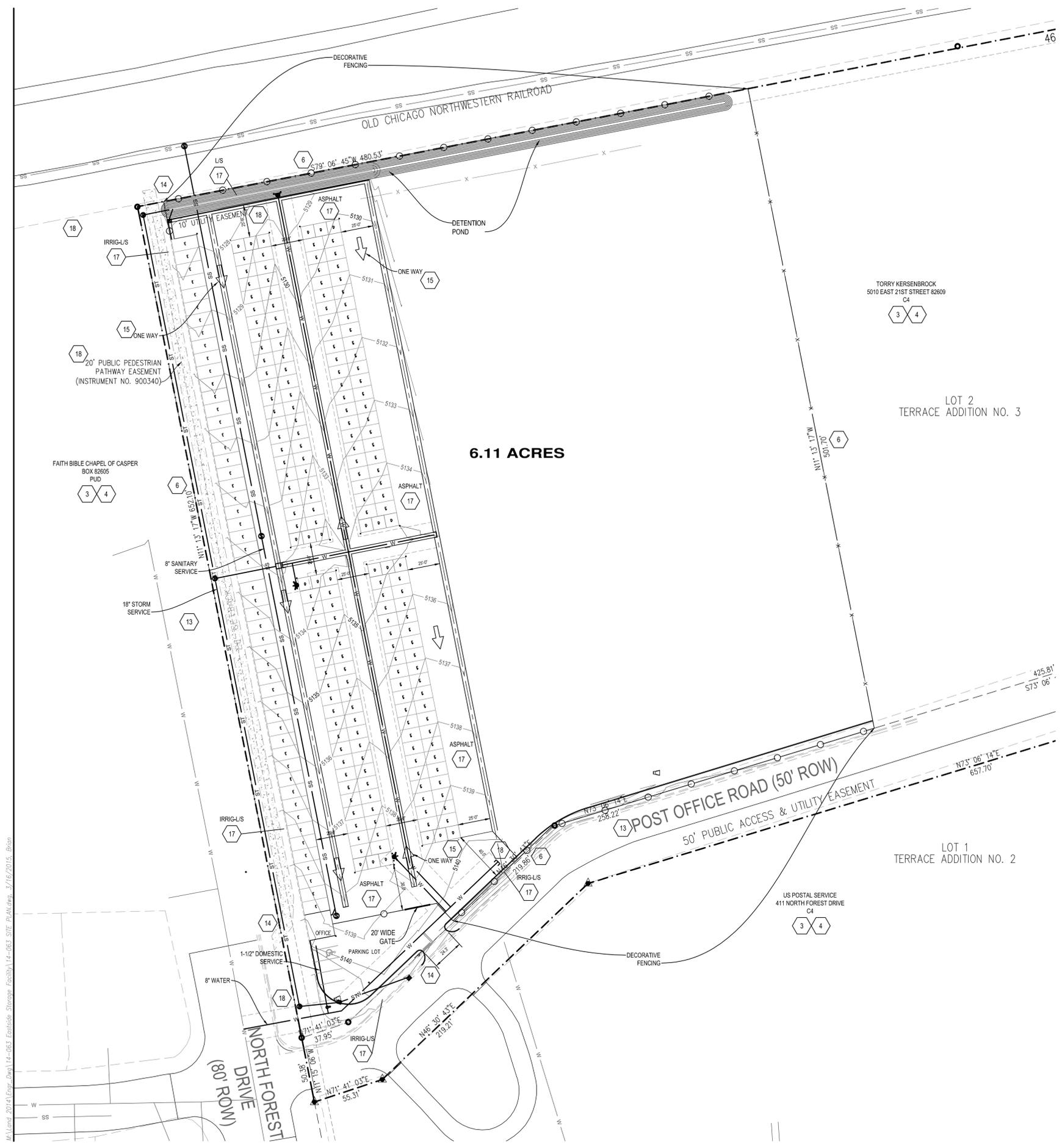


- Surrounding Land Uses:**
- Mid-Density Residential
  - Government
  - Commercial

**Legend**

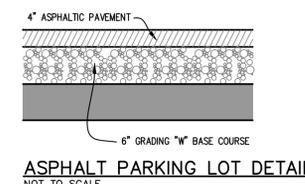
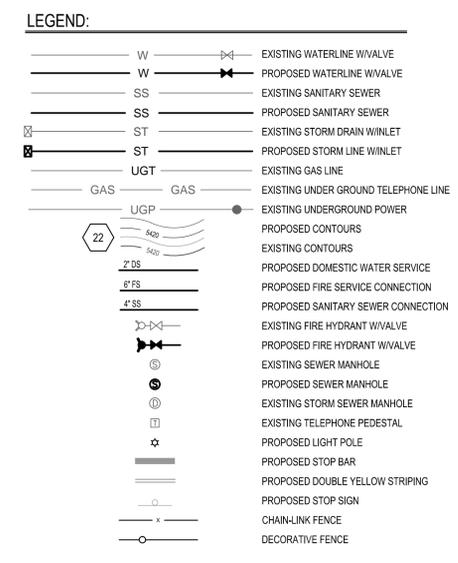
- ▭ Subject Property
- 300' Notification Zone
- Neighborhood Convenience(C1)
- ▨ General Business(C2)
- ▩ Highway Business(C4)
- General Industrial(M2)
- ▨ Planned Unit Development(PUD)
- One Unit Residential(R2)
- ▨ One to Four Unit Residential(R3)
- High-Density Residential(R4)
- Manufactured Home Park(R6)





- 1 LEGAL DESCRIPTION AND COMMON ADDRESS  
-TERRACE ADDITION NO. 3-  
TO THE CITY OF CASPER  
NATRONA COUNTY, WYOMING  
407 NORTH WALSH DRIVE  
CASPER, WYOMING 82609
- 4 CURRENT ZONING: C4  
PROPOSED ZONING: C4
- 6 AS SHOWN ON PLAN
- 7 BUILDING HEIGHT: 9'-4"  
BUILDING SETBACKS: (X MINIMUM SETBACK)  
NORTH - 30'  
EAST - 32'  
SOUTH - 50'  
WEST - 21'
- 8 NOT APPLICABLE TO THIS SITE
- 9 PROPOSED RESIDENTIAL TRASH RECEPTACLE
- 10 NOT APPLICABLE TO THIS SITE
- 11 NOT APPLICABLE TO THIS SITE

- 12 ALL LIGHTING SHALL BE FULL CUT-OFF  
SEE LIGHTING PLAN BY OTHERS
- 16 NOT APPLICABLE TO THIS SITE
- 17 SEE LANDSCAPING PLAN
- 20 GENERAL NOTES  
a. TOTAL LAND AREA: 6.11 ACRES / 266,160 S.F.  
b. TOTAL BUILDING FOOTPRINT: 38,300 S.F.  
c. PERCENTAGE OF LAND COVERED BY BUILDINGS: 14.4%  
d. BUILDING HEIGHT(S): 9'-4"  
e. NUMBER OF STORIES AND TOTAL LEASABLE S.F.: 1 STORIES / 37,900 S.F.  
f. NUMBER OF PARKING SPACES REQUIRED: 2 (1 VAN HC)  
g. NUMBER OF PARKING SPACES PROVIDED: 3 (1 VAN HC)  
h. SQUARE FOOTAGE OF ALL LANDSCAPED AREAS: 14,553 S.F. (100% IRRIGATED)  
i. PERCENTAGE OF SITE COVERED BY LANDSCAPING: 15.6%  
j. AREA TO BE DISTURBED: 2.14 ACRES / 93,288 S.F.
- 23 SEE DRAINAGE STUDY
- 24 PROVIDED BY OTHERS
- 25 PROVIDED BY OTHERS



Civil Engineering Professionals, Inc.  
6080 Enterprise Drive Casper, WY 82609  
Phone: 307.266.4346 Fax: 307.266.0103  
www.cepi-casper.com

DATE:	
REVISIONS:	

TERRY & SHANNON KERSENBRACK

Eastside Storage Facility

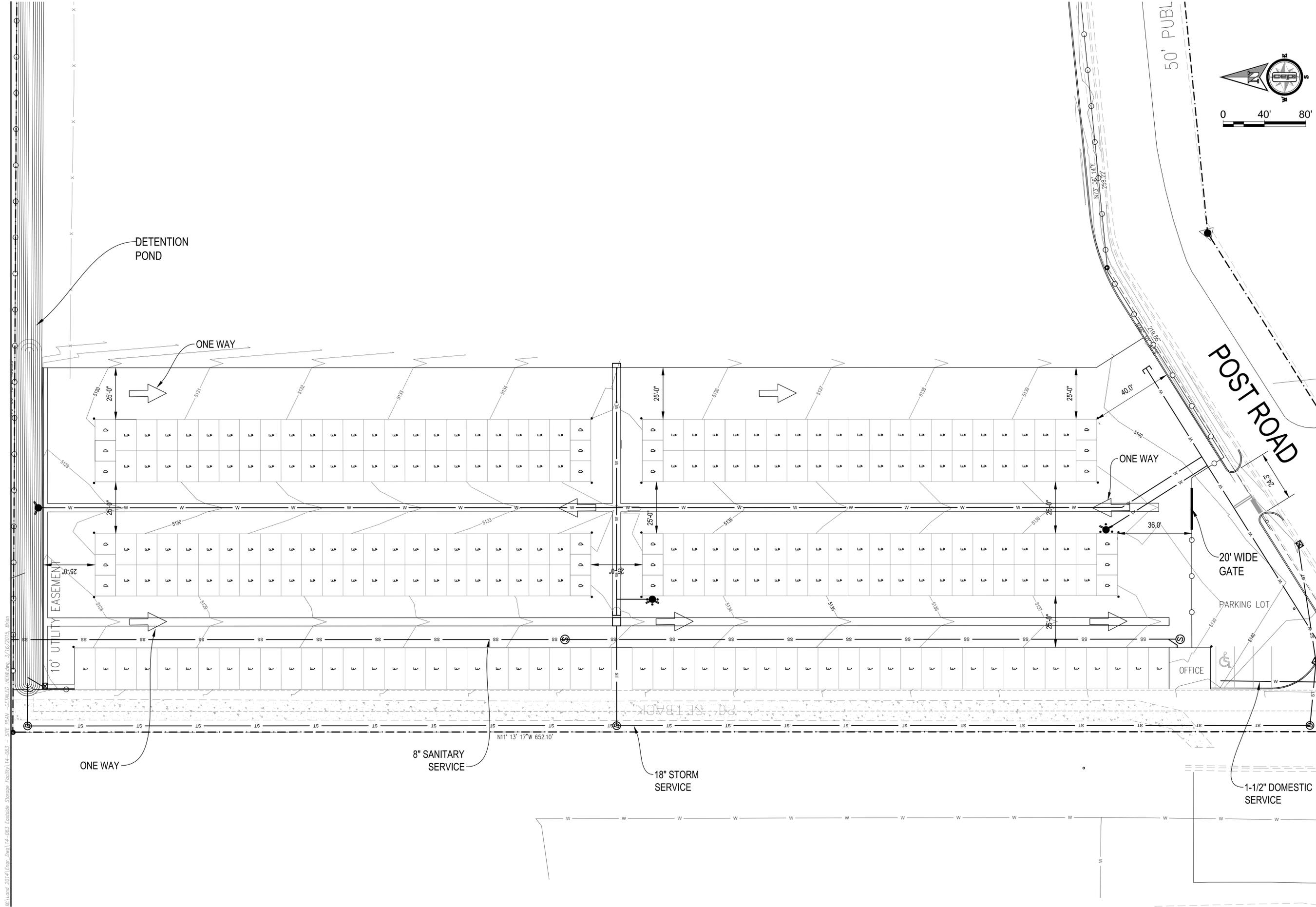
CASPER, WYOMING

PROJECT #:	14-063
DATE:	4/22/15
DRAWN BY:	BT

SITE PLAN	
SHEET	
C1.0	

M:\Land 2014\Engr\_Dwg\14-063\_Eastside Storage Facility\14-063\_SIT PLAN.dwg, 3/16/2015, Brian





REVISIONS:	DATE:

**TORRY & SHANNON KERSENBROCK**  
**Eastside Storage Facility**  
**CASPER, WYOMING**

PROJECT #: 14-063  
 DATE: 4/22/15  
 DRAWN BY: BT

DETAILED VIEW  
 SHEET  
**C3.0**

M:\Land 2014\Engr\_Dwg\14-063 - SITE PLAN - DETAILED VIEW.dwg, 3/16/2015, Brian







April 24, 2015

MEMO TO: James Holloway, Chairman  
Members of the Planning and Zoning Commission

FROM: Liz Becher, Community Development Director  
Craig Collins, AICP, City Planner  
Aaron Kloke, Planner I

SUBJECT: **PLN-15-018-Z** – Petition for a Zone Change of Lot 3 and N ½ Lot 4, Block 96, Casper Addition, located at 335 North Grant Street, from M-1 (Limited Industrial) to C-3 (Central Business). Applicant: Mountain View Builders, Inc.

Recommendation:

In the absence of information that may be presented during the public hearing, staff recommends that the Planning and Zoning Commission approve the request to rezone 335 North Grant Street from M-1 (Limited Industrial) to C-3 (Central Business), and forward a “do-pass” recommendation to the City Council.

Code Compliance:

Staff has complied with all requirements of Section 17.12.170 of the Casper Municipal Code pertaining to zone changes including notification of property owners within three hundred (300) feet by first class mail, posting of the property, and publishing legal notice in the Casper Star Tribune. Staff has not received any public comments on this case.

Summary:

Mountain View Builders, Inc. has applied for a zone change of Lot 3 and N ½ Lot 4, Block 96, Casper Addition, generally located at 335 North Grant Street, from M-1 (Limited Industrial) to C-3 (Central Business). The property is currently vacant, and the applicant would like to construct a commercial warehouse and multi-family apartments on the property. A warehouse is listed as a permitted use in both the M-1 (Limited Industrial) and the C-3 (Central Business) zoning districts; however, residential uses are not permitted under the current M-1 (Limited Industrial) zoning of the property. Residential uses are listed as permitted uses under the proposed C-3 (Central Business) zoning classification. Prior to the construction of a commercial use on the property, the applicant will be required to submit a site plan to the Community Development Department for review and approval.

The Comprehensive Land Use Plan is the City’s planning document that describes the values and ideals expressed by the community for its future. The Plan was created in 2000 and was based on approximately two years of citizen meetings and visioning intended to create a set of goals and policies regarding land use in the Casper area. Whenever a zone change is proposed, the Planning and Zoning Commission and the City Council should base their decisions on whether to approve the zone change on the criteria expressed in the Comprehensive Land Use Plan. Furthermore, Section 17.12.170 of the Casper Municipal Code specifies that staff must review zone change applications in context with the approved Comprehensive Land Use Plan, and provide a recommendation to the Planning and Zoning Commission and City Council based on whether the zone change proposal conforms to the Plan.

The Future Land Use Plan is a map element of the Comprehensive Land Use Plan that visibly sets the City’s policy regarding future zoning and land use patterns. It also provides assurance and direction to property owners and the private development sector with respect to the desired development activity of specific areas. In this case, the Future Land Use Plan element of the 2000 Casper Area Comprehensive Land Use Plan shows the desired future land use of the downtown area, generally described as C Street on the north, McKinley Street on the east, Poplar Street on the west, and Collins Drive on the south, to be ”central business”. The Plan states that, “the central business area should allow for considerable flexibility for developers to invent new combinations of housing and nonresidential land uses. A mix of housing units should be permitted and encouraged in association with nonresidential development, including small lot single family cluster homes, townhouses, condominiums, and apartments.”

The implementation of the Future Land Use Plan sometimes happens incrementally, over a significant period of time. The City rarely finds the opportunity to initiate a large, area-wide zone change, as was the case most recently with the urban renewal initiative better known as the Old Yellowstone District. Today, the City’s major urban renewal efforts are focused on the Old Yellowstone District and the downtown; however, it is not inconceivable that someday, similar efforts could take place in this area, east of the downtown, as well. Until that time, the City continues to process zone changes in this portion of the “central business area” as opportunities arise. A series of smaller zone changes enacted over time will eventually implement the broad land use change desired for the area; and individual projects can often serve as a catalyst for future land use changes in the surrounding area. Within the last ten (10) years the City has reviewed and approved approximately eleven (11) similar rezoning requests in the immediate “central business area”.

The proposed C-3 (Central Business) zoning district allows for the development of any and all of the following permitted uses:

1. **Apartments located within a business structure;**
2. Arcades;
3. Assisted living;
4. Automobile sales and/or repairing;

5. Automobile service stations;
6. Banks, savings and loans, and finance companies;
7. Bars, taverns, and cocktail lounges, excluding drive-in/through facilities;
8. Bed and breakfast;
9. Bed and breakfast homestay;
10. Bed and breakfast inn;
11. Business, general retail;
12. Clubs or lodges;
13. Conventional site-built and modular single-family, two-family, **multifamily** townhomes and condominiums, and manufactured homes with siding material consisting of wood or wood products, stucco, brick, rock, or horizontal lap wood, steel or vinyl siding;
14. Dance studios;
15. Day-care, adult;
16. Child care center;
17. Family child care center - zoning review;
18. Family child care home;
19. Family child care home - zoning review;
20. Drugstores;
21. Electrical, television, radio repair shops;
22. Government office buildings and community facilities;
23. Grocery stores;
24. Group homes;
25. Multi-story apartment buildings;
26. Homes for the homeless (long-term shelters);
27. Hotels, motels;
28. Manufacturing, assembling, or packaging of products from previously prepared materials;
29. Mortuaries;
30. Offices, general and professional;
31. Offices, medical (laboratories, clinics, health spas, and rehabilitation centers);
32. Parking garages;
33. Parks, playgrounds, historical sites, and other similar recreational facilities;
34. Pawn shops;
35. Personal service shops;
36. Pharmacies;
37. Printing and newspaper houses;
38. Public utility and public service offices;
39. Public utility and public service installations, excluding repair and storage facilities;
40. Radio and television stations, including transmitting and receiving towers;
41. Restaurants, cafes, and coffee shops;
42. Retail business;
43. Sundry shops and specialty shops;

- 44. Theaters, auditoriums, and other places of indoor assembly;
- 45. Thrift shops;
- 46. Transportation depots;
- 47. Vocational centers, medical and professional institutions;
- 48. Warehouse and other indoor storage;**
- 49. Neighborhood assembly uses;
- 50. Regional assembly uses;
- 51. Branch community facilities;
- 52. Neighborhood grocery;
- 53. Church.

# 335 N Grant



EC ST

N PARK ST

N GRANT ST

N LINCOLN ST

EB ST



NOT TO SCALE

## Legend

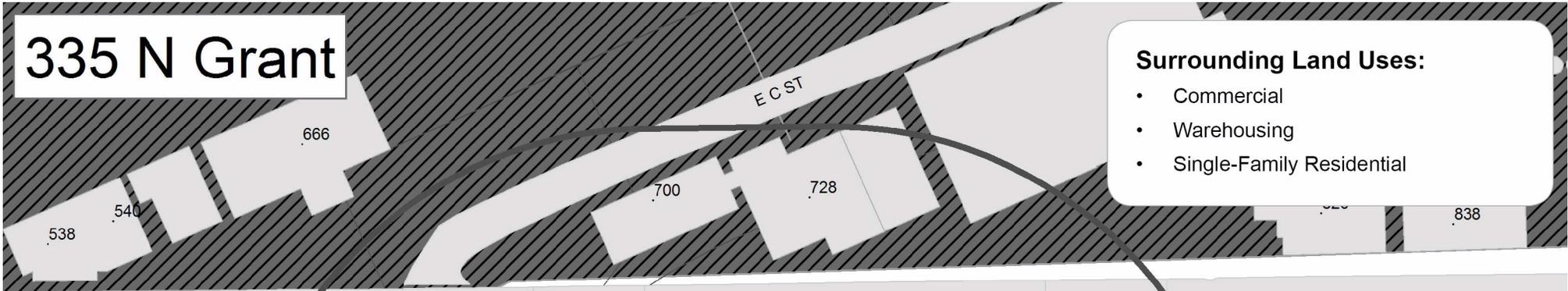
 Subject Property



# 335 N Grant

## Surrounding Land Uses:

- Commercial
- Warehousing
- Single-Family Residential



## Legend

- ▭ 300' Notification Zone
- ▭ Subject Property
- ▭ Buildings
- ▨ General Business (C2)
- ▭ Central Business (C3)
- ▨ Limited Industrial (M1)



NOT TO SCALE

April 24, 2015

MEMO TO: James Holloway, Chairman  
Members of the Planning and Zoning Commission

FROM: Liz Becher, Community Development Director  
Craig Collins, AICP, City Planner  
Aaron Kloke, Planner I

SUBJECT: **PLN-15-019-Z** – Petition for a Zone Change of Lot 3, Block 12, Nelson’s Addition, located at 1231 North Wolcott Street, from R-6 (Manufactured Home (Mobile) Park) to R-3 (One to Four Unit Residential). Applicant: C&G Investments, LLC.

Recommendation:

In the absence of information that may be presented during the public hearing, staff recommends that the Planning and Zoning Commission approve the request to rezone the lots listed above, from R-6 (Manufactured Home (Mobile) Park) to R-3 (One to Four Unit Residential), and forward a “do-pass” recommendation to the City Council.

Code Compliance:

Staff has complied with all requirements of Section 17.12.170 of the Casper Municipal Code pertaining to zone changes including notification of property owners within 300 feet by first class mail, posting of the property, and publishing legal notice in the Casper Star Tribune. Staff has not received any public comments on this case.

Summary:

C&G Investments, LLC have applied for a zone change of Lot 3, Block 12, Nelson’s Addition, located at 1231 North Wolcott Street, from R-6 (Manufactured Home (Mobile) Park) to R-3 (One to Four Unit Residential). The property is currently vacant, and the applicant wishes to construct a four (4) unit multi-family structure on the property. A multi-family, stick-built structure is not a permitted use in the R-6 (Manufactured Home (Mobile) Park) zoning district, but would be permitted under the proposed R-3 (One to Four Unit Residential) zoning. Properties in the vicinity are a mix of R-3 (One to Four Unit Residential) and R-6 (Manufactured Home (Mobile) Park) zoning. Land uses in the area are a mix of manufactured homes, stick-built homes, and a commercial building.

In the early 2000's, the City reached out to several hundred property owners in North Casper to encourage them to apply for zone changes of their properties from R-6 (Manufactured Home (Mobile) Park) and C-2 (General Business) to R-3 (One to Four Unit Residential). As a result, the City processed dozens of zone change requests in North Casper over a period of 2-3 years, which changed the status of those properties from non-conforming residential uses, to legal, conforming properties. The change in status of those properties was extremely significant for those property owners because it alleviated the restrictions on the properties and allowed them to invest in, and add on to their homes, it improved the sale-ability of the properties, and allowed people to obtain financing much more easily. The neighborhood surrounding the subject property was "ground zero" for the City's efforts at that time because it had the highest density of non-conforming structures in North Casper. Today, the area continues to transition and redevelop, as evidenced by this request before the Planning and Zoning Commission.

The Comprehensive Land Use Plan is the planning document that describes the values and ideals expressed by the community for its future. The Plan was created in 2000 and was based on approximately two years of citizen meetings and visioning intended to create a set of goals and policies regarding land use in the Casper area. Whenever a zone change is proposed, the Planning and Zoning Commission should objectively base their decision on whether to approve the zone change on the criteria expressed in the Comprehensive Land Use Plan. Furthermore, section 17.12.170 of the Casper Municipal Code specifies that staff must review zone change applications in context with the approved Comprehensive Land Use Plan, and provide a recommendation to the Planning and Zoning Commission based on whether the zone change proposal conforms to the Plan.

The Comprehensive Land Use Plan establishes a list of visions, principles and goals to guide the City's land use policies and decisions. With regard to the current proposal, the zone change to R-3 (One to Four Unit Residential) is consistent with past efforts to rezone much of North Casper, and is supported by the following visions, principles and goals:

**Vision 1: Diverse Economy** – An expanded, more diversified, and stable local economy that continuously grows new jobs that pay a higher-wage than the current average.

Principle E – Balance Housing Supply with Demands Created by Economic Growth

Goal 7 – Provide a variety of housing types and densities offering convenient and affordable housing to meet the demands created by growth in industrial and commercial development.

**Vision 3: Compact Development** – A compact development pattern of cohesive neighborhoods and corridors.

Principle K – Direct Growth to Encourage Infill and Redevelopment

Goal 20 – Direct future development to underutilized or vacant parcels within the developed urban area where City services and infrastructure already exist.

**Vision 9 (Attainable Housing)** – A community that offers a full range of housing types to meet the needs and expectations of people of all incomes, lifestyles and age groups.

Principle Z – Provide for Adequate Attainable Housing

Goal 48 – Promote the availability of adequate, safe, and well-served housing for all age groups and populations in the Casper area.

Goal 51 – Encourage the distribution of affordable housing in order to achieve a diversified community.

The proposed R-3 (One to Four Unit Residential) zoning district allows for the development of any and all of the following permitted uses:

- A. Conventional site, built single-family dwellings and manufactured homes with siding material consisting of wood or wood products, stucco, brick, rock or horizontal lap wood, steel or vinyl siding;
- B. Conventional site-built and modular two-family dwellings;
- C. **Conventional site-built and modular multifamily dwellings consisting of not over four individual dwelling units;**
- D. Conventional site built and modular condominiums for residential use consisting of not over four individual dwelling units;
- E. Conventional site-built and modular townhomes for residential use consisting of not over four individual dwelling units;
- F. Day-care, adult;
- G. Family child care home;
- H. Reserved;
- I. Parks, playgrounds, historical sites, golf courses, and other similar recreational facilities used during daylight hours;
- J. Schools, public, parochial, and private elementary, junior and senior high;
- K. Neighborhood assembly uses;
- L. Branch community facilities;
- M. Neighborhood grocery;
- N. Group home;
- O. Church.

# 1231 Wolcott Street

PRIVATE RD

PRIVATE RD

E M ST

N CENTER ST

N WOLCOTT ST

N DURBIN ST

EL ST



NOT TO SCALE



## Legend

 Subject Property

# 1231 N Wolcott

Facing East



# 1231 Wolcott Street

## Surrounding Land Uses:

- Commercial
- Warehousing
- Manufactured (Mobile) Residential

PRIVATE RD

PRIVATE RD

E M ST

N CENTER ST

N WOLCOTT ST

N DURBIN ST

E L ST



NOT TO SCALE

## Legend

- 300' Notification Zone
- Subject Property
- Buildings
- One to Four Unit Residential(R3)
- Manufactured Home Park(R6)

