

REGULAR COUNCIL MEETING
Tuesday, November 15, 2016
6:00 p.m.

COUNCIL POLICY
PUBLIC STATEMENTS

- I. Members of the Public Wishing to Place a New Item on the Agenda Must Submit a Written Request to the City Manager No Later Than 11:00 a.m. on the Wednesday Preceding the Council Meeting.
- II. Members of the Public Wishing to Speak to an Item Already on the Agenda, Other Than a Public Hearing, Must Submit a Written Request to the City Manager by 12:00 Noon on the Monday Immediately Preceding the Council Meeting.
- III. When Speaking to the City Council Please:
 - Clearly State Your Name and Address.
 - Keep Your Remarks Pertinent and Non-Repetitive.
 - Speak to the City Council with Civility and Decorum.
- IV. The City Council Will Not Respond to Any Comments or Questions Concerning Personnel Matters. Any Such Comments or Questions will be Handled by the Appropriate Persons. Presentations will be Limited to Five Minutes or Less per Person.
- V. Questions Posed by Speakers May, or May Not be Responded to by Council Members.
- VI. Willful Disruption of, or the Breach of the Peace at, a Council Meeting may Result in the Removal of any Such Individuals or Groups from the Council Chambers.

(These Guidelines Are Also Posted at the Podium in the Council Chambers)

2015 CITY COUNCIL GOALS

Downtown - The City of Casper will foster growth and prosperity of the City's core through infrastructure development, creating public spaces and supportive facilities.

Infrastructure - The City of Casper will create the conditions for economic development by expanding and maintaining its physical assets and equipment, including streets, water lines, parking garages, fire stations, buildings and parks.

Recreation - The City of Casper will support, maintain and upgrade its current recreational facilities and programs and develop recreational opportunities that provide citizens and visitors with a variety of affordable activities for all ages that serve to enhance quality of life.

Council Goals Scorecard
<i>Actions since 5/5/2015</i>
30
185
69

AGENDA

1. ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. CONSIDERATION OF MINUTES OF THE NOVEMBER 1, 2016 REGULAR COUNCIL MEETING, AS PUBLISHED IN THE CASPER STAR-TRIBUNE ON NOVEMBER 9, 2016
4. CONSIDERATION OF BILLS AND CLAIMS
5. BRIGHT SPOTS IN OUR COMMUNITY- PRESERVING THE LIFEJACKETS
6. PUBLIC HEARINGS

A. Ordinance

1. Zone Change of Lot 1, of Lots 1 Through 10 of “**Eastward Heights III**,” Located at **2300 East 15th Street**, From R-4 (High Density Residential) to C-2 (General Business).
2. Zone Change of **North Casper Addition, Block 22, Lot 199-200 & TR ADJ 200**, Located at **702 North Jefferson Street**, From R-3 (One to Four Unit Residential) to C-2 (General Business).

B. Resolution

1. Nuisance Abatement Lien at **1169 North Jackson Street**.

C. Minute Action

1. Issuance of a New **Resort Liquor License No. 5** to Western States, Inc. d.b.a. **Ramada Plaza Riverside**, Located at 300 West ‘F’ Street.
2. Transfer of Ownership and Location for **Retail Liquor License No. 32** from Western States, Inc. d.b.a. **Ramada Plaza Riverside**, Located at 300 West ‘F’ Street to **Roaring 22, Inc.**, d.b.a. **Roaring 22**, Located at 314 Midwest Avenue.

2015 Goals		
Downtown	Infrastructure	Recreation

7. THIRD READING ORDINANCE

A. Consent

1. Zone Change of **Lots 1-3, Block 3; Lot 1, Block 4; and Lot 1, Block 2; Harmony Hills Addition No. 2, Phase 2;** Located at **1725, 1625, 1575, 1525, and 4911 Yesness Court,** from C-2 (General Business) to R-2 (One Unit Residential).

2015 Goals		
Downtown	Infrastructure	Recreation

8. SECOND READING ORDINANCE

A. Consent

1. **Council-Initiated Zone Change** of Multiple Properties Located in the **Old Yellowstone District and South Poplar Street Corridor.**

9. RESOLUTIONS

A. Consent

1. Approving the **Site Plan Agreement** for 200 South David Street, Lots 1-5 and Lots 40-44, Block 1, in the City of Casper for the Construction of the **David Street Station.**
2. Authorizing an Underground Right-of-way **Easement** with **PacifiCorp, d/b/a Rocky Mountain Power,** for the Installation of Underground Electrical Power for the **David Street Station Project.**
3. Authorizing the Mayor to Sign a Petition for the **Vacation of a Portion of an Alley** for the **David Street Station Project** Located South of West Yellowstone Highway, between Lots 39-44 and Lots 1-3, Block 1, in the City of Casper as Property Owner of **Approximate 3.25 Acres.**
4. Authorizing Agreement with **SWi, LLC,** in the Total Amount of \$66,140, for the **Solid Waste Gate Improvements Project.**
5. Authorizing Agreement with **Hult Construction, Inc.,** in the Total Amount of \$282,700, for the **Solid Waste Facility 2016 Storage Buildings Construction Project.**

2015 Goals		
Downtown	Infrastructure	Recreation
X		X
X	X	X
X	X	X
	X	

2015 Goals		
Downtown	Infrastructure	Recreation

9. RESOLUTIONS (continued)

A. Consent

- 6. Authorizing the **Termination of the “Sublease Agreement”** entered into on September 17, 2014 Between the City of Casper, Wyoming and the **Amoco Reuse Agreement Joint Powers Board** for the Sub-Leasing of Approximately Eighteen (18) Acres on the Amoco Commons.
- 7. Authorizing the Mayor to Sign a **Letter of Support** for the **Town of Bar Nunn’s Business Ready Community Grant Application to the Wyoming Business Council** for the Interchange at Interstate-25 and Westwinds Boulevard.

10. COMMUNICATIONS

A. From Persons Present

11. INTRODUCTION OF MEASURES AND PROPOSALS BY MEMBERS OF THE CITY COUNCIL

12. ADJOURNMENT

Upcoming Council meetings

Council meetings

- 6:00 p.m. Tuesday, December 6, 2016 – Council Chambers
- 6:00 p.m. Tuesday, December 20, 2016 – Council Chambers

Work sessions

- 4:30 p.m. Tuesday, November 22, 2016 – Council Meeting Room
- 4:30 p.m. Tuesday, December 13, 2016 – Council Meeting Room

ZONING CLASSIFICATIONS			
FC	Major Flood Channels & Riverbanks	PUD	Planned Unit Development
AG	Urban Agriculture	HM	Hospital Medical
R-1	Residential Estate	C-1	Neighborhood Convenience
R-2	One Unit Residential	C-2	General Business
R-3	One to Four Unit Residential	C-3	Central Business
R-4	High-Density Residential	C-4	Highway Business
R-5	Mixed Residential	M-1	Limited Industrial
R-6	Manufactured Home (Mobile) Park	M-2	General Industrial
PH	Park Historic	SMO	Soil Management Overlay
HO	Historic Overlay	ED	Education
OB	Office Business	OYDSPC	Old Yellowstone District and South Poplar Street Corridor Form Based Code

COUNCIL PROCEEDINGS
Casper City Hall – Council Chambers
November 1, 2016

Casper City Council met in regular session at 6:00 p.m., Tuesday, November 1, 2016. Present: Councilmen Cathey, Heili, Hopkins, Humphrey Johnson, Miller, Pacheco, Powell, and Mayor Sandoval.

A 3rd grade Park School student led the audience in the Pledge of Allegiance.

Moved by Councilman Humphrey, seconded by Councilman Johnson, to, by minute action, approve the minutes of the October 18, 2016, regular Council meeting, as published in the Casper-Star Tribune on October 25, 2016. Motion passed.

Moved by Councilman Pacheco, seconded by Councilman Miller, to, by minute action, approve payment of the November 1, 2016, bills and claims, as audited by City Manager McDonald. Motion passed.

Bills & Claims
11/01/16

71Construction	Projects	\$969.57
AAALandscaping	Services	\$3,114.85
AceSandblasting	Services	\$37,162.50
AMBI	Services	\$262.52
AmericanTitle	Services	\$85.00
Ameritech	Services	\$23,475.84
AParks	Refund	\$20.12
B Worley	Reimb	\$69.61
Balefill	Services	\$97,198.83
BankOfAmerica	Goods	\$190,042.29
BDvorak	Refund	\$39.76
BigBrthsBigSstrs	Funding	\$4,582.12
BIslas	Refund	\$17.18
Burns&McDonnellEngineering	Services	\$405.00
BWilladson	Reimb	\$60.00
CAEDA	Funding	\$104,029.98
CArionus	Refund	\$47.76
Caselle	Services	\$75.00
CasperPubSafetyComm	Services	\$2,497.16
CConner	Reimb	\$60.00
CentralPaint&Body	Services	\$1,780.06
Centurylink	Services	\$1,462.01
ChamberofCommerce	Goods	\$51,750.00
CityofCasper	Services	\$10,566.54
CivilEngineeringProfessionals	Projects	\$40,505.41

CKrugler	Reimb	\$51.95
CMITeco	Goods	\$11,750.00
CollectionCenter	Services	\$1,044.50
CommTech	Goods	\$4,503.70
CrimeSceneInfo	Services	\$86.25
CtrlWysrSvcs	Funds	\$42,500.00
D/BLane	Refund	\$226.08
Dell	Goods	\$831.03
DoubleDWelding	Services	\$2,375.00
EatonSls	Parts	\$157,999.47
FirstData	Services	\$3,664.56
FirstInterstateBank	Services	\$3,230.04
FmlyJrnyCtr	Services	\$416.55
FremontMtrCo	Services	\$24,059.10
GateCtyBnk	Refund	\$43.25
GOsbourne	Refund	\$60.02
GPCArchtccts	Services	\$7,300.86
GreenTreeArbor	Services	\$25.00
GrizzlyExcavating	Projects	\$326,473.64
GrizzlyExcvtng	Services	\$22,357.34
GSGArchitecture	Services	\$10,445.60
GWMechanical	Services	\$11,274.30
Hach	Goods	\$449.32
HghPlnsPizza	Meals	\$6.00
HHarden	Refund	\$325.10
HoleshotLawnCare	Services	\$475.00
Homax	Goods	\$49,495.90
IndRepairSvc	Supp	\$3,219.61
Installation&Svc	Services	\$110,806.24
ITCElec	Services	\$1,809.60
ItstheLttlthings	Services	\$3.42
J Stevens	Reimb	\$74.50
J Wetzel	Reimb	\$423.70
JGreenwood	Reimb	\$191.05
JHarrington	Refund	\$20.07
JKovach	Refund	\$53.07
JScott	Refund	\$6.63
JTLGroup	Services	\$359.40
KPage	Refund	\$53.07
LaborReady	Services	\$4,073.37
Leonbro	Services	\$189,543.90
LoganSimpsonDsn	Services	\$10,924.76
LSCTrans	Svc	\$3,268.75
MAnderson	Reimb	\$47.00
McMurryReadyMix	Goods	\$1,007.25
MunicipalCodeCorp	Goods	\$900.00

NC Clerk	Services	\$70.00
NCHallofJustice	Services	\$8,329.06
NevesUniforms	Goods	\$3,995.59
NorthParkTransport	Services	\$125.88
OlsonAutobody	Services	\$1,619.18
Paciolan	Services	\$7,925.80
PeakGeosolutions	Services	\$29,771.28
PeaksToPlainsDesign	Services	\$893.22
PetroTesters	Services	\$600.00
PkAsphalt	Supp	\$1,196.80
PlatteRiverCrossing	Funding	\$125,592.00
PoliceDept	Services	\$147.88
PostalPros	Services	\$3,424.59
ProforceLawEnforcement	Goods	\$10,117.17
PvrtyRestncFoodPntry	Funding	\$11,884.93
ResourceStaff	Services	\$479.61
RForsberg	Refund	\$9.81
RHernandez	Refund	\$51.57
RockyMtnPower	Services	\$127,366.59
RodBarstadsPnt	Services	\$1,005.27
S/JLewallen	Refund	\$32.34
SamParsonsUpholstery	Services	\$304.33
SBurton/KHall	Refund	\$7.62
SkylineRanches	Services	\$238.86
SourceGas	Services	\$10,771.72
Spectrum	Funding	\$79,030.00
SShumway	Refund	\$710.46
StarLineFeeds	Goods	\$545.75
SWL	Services	\$3,818.00
TestAmLab	Services	\$1,473.00
TretoConstruction	Projects	\$88,591.00
UntdWayNC	Misc	\$3,500.00
UrbanInteractive	Services	\$250.00
UrgentCare	Services	\$1,096.00
UWCo-opExt	Services	\$25,136.00
VBernardis	Refund	\$38.32
VentureTechnologies	Goods	\$45,000.00
VGonzales	Reimb	\$20.00
WasteWaterTreatment	Funding	\$600.00
WaterTechnologyGroup	Services	\$53,202.05
WERCSCcommunications	Services	\$512.50
WesternPlainsLandscaping	Services	\$34,560.00
WesternWaterConsult	Services	\$30,929.68
WestlandPark	Services	\$1,624.47
WHillhouse	Goods	\$221.33
Worldwash	Services	\$575.00

WorthingtonLenhart&Carpenter	Services	\$19,030.69
WyAssocMunicipalities	Services	\$100.00
WyLawEnforcementAcademy	Services	\$1,935.00
WyMachinery	Goods	\$53,526.00
WyNotaryDivision	Goods	\$30.00
WySupremeCourt	Services	\$95.00
YouthCrisisCenter	Funding	\$4,554.05
		\$2,375,199.46

Mayor Sandoval welcomed students from Mrs. Beamer’s third grade class from Park Elementary school. Students explained that they have been learning about the importance of voting and have distributed brochures the community. The students presented a handout to Councilmembers.

Moved by Councilman Cathey, seconded by Councilman Miller, to, by minute action, establish November 15, 2016, as the public hearing date for the consideration of:

- a. zone change of Lot 1, of Lots 1 through 10 of “Eastward Heights III,” located at 2300 East 15th Street, from R-4 (High Density Residential) to C-2 (General Business);
- b. zone change of North Casper Addition, Block 22, Lot 199-200 & TR ADJ 200, located at 702 North Jefferson Street, from R-3 (One to Four Unit Residential) to C-2 (General Business);
- c. nuisance abatement lien at 1169 North Jackson Street; and,

Establish December 6, 2016, as the public hearing date for consideration of the transfer of ownership of Retail Liquor License No. 29 from Mountain West Sales, Inc., d.b.a. Galles Liquor Mart, located at 748 East Yellowstone Street to Double C Hospitality, LLC, d.b.a. Galles Liquor Mart, located at 748 East Yellowstone Street.

Passed.

Mayor Sandoval opened the public hearing for the consideration of the zone change of multiple properties in the Old Yellowstone District and South Poplar Street Corridor.

City Attorney Luben entered two (2) exhibits: correspondence from Liz Becher, to V.H. McDonald, dated October 26, 2016 and an affidavit of publication, as published in the Casper-Star Tribune, dated October 18, 2016. City Manager McDonald provided a brief report.

Speaking in support were: Michael Reid, 1615 Luker; David Dewald, 122 S. Elk; and Keith Rolland, 542 S. Durbin.

Speaking in opposition was David Van Patten, 1026 W. 13th.

There being no others to speak for or against the issues involving the zone change, the public hearing was closed.

Following ordinance read:

ORDINANCE NO. 13-16
 AN ORDINANCE APPROVING A COUNCIL-INITIATED
 ZONE CHANGE OF MULTIPLE PROPERTIES LOCATED IN
 THE OLD YELLOWSTONE DISTRICT AND SOUTH POPLAR
 STREET CORRIDOR.

Councilman Hopkins presented the foregoing ordinance for approval, on first reading. Seconded by Councilman Johnson. Councilman Heili requested that staff explain the difference between C-2 and C-4 zoning. Craig Collins, Casper City Planner, provided an explanation. Motion passed.

Moved by Councilman Hopkins, seconded by Councilman Cathey, to, by minute action cancel the public hearing for the transfer of corporate ownership of Microbrewery Liquor License No. 1, as a hearing is not applicable. Motion passed.

Mayor Sandoval opened the public hearing for the consideration of the issuance of Restaurant Liquor License No. 31, to Himalayan Indian Cuisine, LLC, d.b.a. Himalayan Indian Cuisine, located at 232 East 2nd Street, Suite 100B.

City Attorney Luben entered four (4) exhibits: correspondence from Tracey L. Belser, to V.H. McDonald, dated November 1, 2016, an affidavit of publication, as published in the Casper-Star Tribune, dated October 24, 2016, an affidavit of website publication, as published on the City of Casper website, dated October 18, 2016, and the Liquor License application filed September 16, 2016. City Manager McDonald provided a brief report.

There being no one to speak for or against the issues involving Restaurant Liquor License No. 31, the public hearing was closed.

Moved by Councilman Miller, seconded by Councilman Humphrey, to, by minute action, authorize the issuance of Restaurant Liquor License No. 31. Motion passed.

Mayor Sandoval opened the public hearing for the consideration of the issuance of Restaurant Liquor License No. 9, to Shogun Restaurant Management, Inc., d.b.a. Shogun Restaurant, located at 3095 Talon Drive, Suite 400.

City Attorney Luben entered four (4) exhibits: correspondence from Tracey L. Belser, to V.H. McDonald, dated November 1, 2016, an affidavit of publication, as published in the Casper-Star Tribune, dated October 24, 2016, an affidavit of website publication, as published on the City of Casper website, dated October 18, 2016, and the Liquor License application filed September 19, 2016. City Manager McDonald provided a brief report.

Speaking in support was Meng Jun Lin, 3320 Whispering Spring; and Pat Sweeney, 951 N. Kimball.

There being no others to speak for or against the issues involving Restaurant Liquor License No. 9, the public hearing was closed.

Moved by Councilman Hopkins, seconded by Councilman Powell, to, by minute action, authorize the issuance of Restaurant Liquor License No. 9. Motion passed.

The following ordinance was considered, on third reading, by consent agenda.

ORDINANCE NO. 11-16
AN ORDINANCE APPROVING A ZONE CHANGE FOR LOTS
5 AND 6 OF THE STANDARD OIL COMPANY SUBDIVISION
IN THE CITY OF CASPER, WYOMING.

WHEREAS, an application has been made to rezone all of the above described lots from zoning classification R-2 (One Unit Residential) to C-2 (General Business); and,

WHEREAS, after a public hearing on August 18, 2016, the City of Casper Planning and Zoning Commission passed a motion recommending that City Council approve the zone change request; and,

WHEREAS, the governing body of the City of Casper finds that the above described zone change should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING:

SECTION 1:

Lots 5 and 6 of the Standard Oil Company Subdivision, more commonly known as 911 CY Avenue and 1535 South Poplar Street, are hereby rezoned from zoning classification R-2 (One Unit Residential) to C-2 (General Business).

SECTION 2:

This ordinance shall be in full force and effect from and after passage on three readings and publication pursuant to law.

PASSED on 1st reading the 4th day of October, 2016.

PASSED on 2nd reading the 18th day of October, 2016.

PASSED, APPROVED, AND ADOPTED on 3rd and final reading the 1st day of November, 2016.

Councilman Johnson presented the one (1) foregoing consent agenda ordinance for adoption, on third reading. Seconded by Council Heili. Motion passed.

The following ordinance was considered, on second reading, by consent agenda.

ORDINANCE NO. 12-16
AN ORDINANCE APPROVING A ZONE CHANGE FOR LOTS
1-3, BLOCK 3, LOT 1, BLOCK 4; AND LOT 1, BLOCK 2; ALL
LOCATED IN THE HARMONY HILLS ADDITION NO. 2-
PHASE 2, IN THE CITY OF CASPER, WYOMING.

Councilman Pacheco presented the foregoing one (1) ordinance for adoption, on second reading, by consent agenda. Seconded by Councilman Powell. Motion passed.

The following resolutions were considered, by consent agenda:

RESOLUTION NO. 16-252

A RESOLUTION AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT FOR IMPOUND WRECKER AND TOWING SERVICES

RESOLUTION NO. 16-253

A RESOLUTION AUTHORIZING AN INDEPENDENT CONTRACTOR AGREEMENT WITH NATRONA COUNTY SCHOOL DISTRICT #1.

RESOLUTION NO. 16-254

A RESOLUTION AUTHORIZING AN AGREEMENT WITH BYPASS MOBILE LLC. FOR PROVISION OF EQUIPMENT AND PROFESSIONAL SERVICES FOR THE PURCHASE AND IMPLEMENTATION OF A POINT OF SALE SYSTEM.

RESOLUTION NO. 16-255

A RESOLUTION APPROVING A NATRONA COUNTY PLAT, "SALT CREEK HEIGHTS BUSINESS CENTER — PHASE 4"

RESOLUTION NO. 16-256

A RESOLUTION AUTHORIZING THE RELEASE OF A MORTGAGE DEED.

RESOLUTION NO. 16-257

A RESOLUTION AUTHORIZING A CONTRACT AMENDMENT WITH BRESNAN COMMUNICATIONS, LLC TO MOVE A FIBER CONNECTION TO 185 VALLEY DRIVE.

RESOLUTION NO. 16-258

A RESOLUTION AUTHORIZING CHANGE ORDER NO.1 WITH WYOMING MACHINERY COMPANY FOR THE CASPER EVENTS CENTER EMERGENCY GENERATOR, PROJECT NO. 15-49.

RESOLUTION NO. 16-259

A RESOLUTION AUTHORIZING A LICENSE AGREEMENT WITH ADVANCED COMMUNICATION TECHNOLOGIES, LLC, TO INSTALL BURIED FIBER OPTIC CABLE INFRASTRUCTURE WITHIN CITY-OWNED RIGHT-OF-WAY.

RESOLUTION NO. 16-260
A RESOLUTION AUTHORIZING CHANGE ORDER NO. 1 TO
THE AGREEMENT WITH HEDQUIST CONSTRUCTION,
INC., FOR A TIME EXTENSION OF ONE HUNDRED
NINETY-FOUR (194) DAYS FOR THE EAST 21ST STREET
IMPROVEMENTS, PROJECT NO. 15-64.

Councilman Johnson presented the foregoing nine (9) resolutions for adoption. Seconded by Councilman Miller. Motion passed.

Moved by Councilman Humphrey, seconded by Councilman Miller, to, by consent minute action:

1. transfer of corporate ownership of Microbrewery License No. 1 for Wyoming State Brewing Company, LLC, d.b.a. Wyoming State Brewing Company, located at 256 South Center Street.
2. acknowledging change of corporate ownership for Bar and Grill License No. 4, Casper Dave's, LLC, located at 5900 East 2nd Street.
3. approving the request for a change in dispensing room for Bar and Grill License No. 4, Casper Dave's, LLC, d.b.a. Wyoming Ale Works, located at 5900 East 2nd Street.
4. authorizing the reappointment of Greg Tucker and Jennifer Walker to the Leisure Services Advisory Board.

Motion passed.

Individuals addressing the Council were: Keith Goodenough, 333 S. Socony, regarding citizen input and participation at meetings, topics not addressed by Council, length of business at Council meetings, and property rights in the Old Yellowstone District; Tamara Mc Naughton, 2906 Belmont, regarding the need to address Council on topics, inconsistencies in State Statutes with regard to domestic versus other battery types, and Casper police staffing; Shay Snapp, 233 Daffodil, regarding a subcommittee on special victims and domestic violence; and Dale Zimmerle, 3035 Bellaire, invited Council to a church service.

Mayor Sandoval noted the next meetings of the City Council will be a work session to be held at 4:30 p.m., Tuesday, November 8, 2016, in the Council's meeting room; and, a regular Council meeting to be held at 6:00 p.m., Tuesday, November 15, 2016, in the Council Chambers.

Moved by Councilman Pacheco, seconded by Councilman Johnson, to, by minute action adjourn. Motion passed.

The meeting was adjourned at 7:35 p.m.

ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

71 CONSTRUCTION, INC.

1698-1 MIKE SEDAR POOL PARKING LOT	\$95,155.70		
	\$95,155.70	Subtotal for Dept.	Aquatics
1692-2 RETAINAGE	(\$7,099.49)		
	(\$7,099.49)	Subtotal for Dept.	Capital Projects- Engineering
1698-1 RETAINAGE	(\$9,515.57)		
	(\$9,515.57)	Subtotal for Dept.	Capital Projects -Engineering
1692-2 WASHINGTON PARK BLEACHERS	\$82,581.31		
1692-2 WASHINGTON PARK BLEACHERS	\$56,759.85		
	\$139,341.16	Subtotal for Dept.	Parks
	\$217,881.80	Subtotal for Vendor	

A.M.B.I. & SHIPPING, INC.

16-10-545 POSTAGE	\$25.32		
	\$25.32	Subtotal for Dept.	City Attorney
16-10-543 POSTAGE	\$25.41		
	\$25.41	Subtotal for Dept.	Engineering
16-10-548 POSTAGE	\$664.30		
	\$664.30	Subtotal for Dept.	Finance
16-10-551 POSTAGE	\$5.63		
	\$5.63	Subtotal for Dept.	Fire
REML1200173 POSTAGE	\$40.45		
	\$40.45	Subtotal for Dept.	Metro Animal
	\$761.11	Subtotal for Vendor	

AAKER SIGNS & DESIGNS

16-3648 VEHICLE GRAPHIC REPAIR	\$403.00		
	\$403.00	Subtotal for Dept.	Police
	\$403.00	Subtotal for Vendor	

ACE SANDBLASTING & COATING

1112 PRIMARY CLARIFIER #1 RE-COATIN	\$6,750.00		
1112 PRIMARY CLARIFIER #1 RE-COATIN	\$10,000.00		
	\$16,750.00	Subtotal for Dept.	Waste Water
	\$16,750.00	Subtotal for Vendor	

ALEXANDER, JACOB

0027509055 UTILITY REFUND	\$37.64		
	\$37.64	Subtotal for Dept.	Water
	\$37.64	Subtotal for Vendor	

AMERICAN TITLE AGENCY, INC.

80-118089 OWNER & ENCUMBRANCE REPORT	\$85.00		
	\$85.00	Subtotal for Dept.	Code Enforcement
80-117945 OWNER & ENCUMBRANCE REPORT	\$150.00		
	\$150.00	Subtotal for Dept.	Planning
	\$235.00	Subtotal for Vendor	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

AMERI-TECH EQUIPMENT CO.

16515 SPRAY/LINE DUMP BOX	\$3,687.50	
	\$3,687.50 Subtotal for Dept.	Fleet Maintenance
16301 FREIGHT	\$850.00	
16301 30 CUBIC YARD ROLL-OFF	\$7,416.28	
	\$8,266.28 Subtotal for Dept.	Waste Water
	\$11,953.78 Subtotal for Vendor	

ANDREW BURGESS

RIN0026860 TUITION REIMBURSEMENT	\$2,500.00	
	\$2,500.00 Subtotal for Dept.	Fire
	\$2,500.00 Subtotal for Vendor	

ARROWHEAD HEATING & AIR CONDITIONING

8191 FURNACE MAINTENANCE	\$180.00	
	\$180.00 Subtotal for Dept.	Balefill
	\$180.00 Subtotal for Vendor	

B & B SALES & SERVICE

7098 WEED MOWING	\$16.25	
7098 WEED MOWING	\$563.70	
	\$579.95 Subtotal for Dept.	Code Enforcement
	\$579.95 Subtotal for Vendor	

BARNES, MICHAEL/SHANNON

0027509053 UTILITY REFUND	\$8.28	
	\$8.28 Subtotal for Dept.	Water
	\$8.28 Subtotal for Vendor	

BILL SALISBURY

RIN0027179 BOOK REIMBURSEMENT	\$75.00	
	\$75.00 Subtotal for Dept.	Balefill
	\$75.00 Subtotal for Vendor	

BILLIE JEAN HIRSCH

RIN0027118 REFUNDABLE DEPOSIT	\$150.00	
	\$150.00 Subtotal for Dept.	Recreation
	\$150.00 Subtotal for Vendor	

BLAKELEY, LANE

0027552531 UTILITY REFUND	\$16.99	
	\$16.99 Subtotal for Dept.	Water
	\$16.99 Subtotal for Vendor	

BRECK MEDIA GROUP WYOMING INC

MEGADEATH MEGADEATH ADVERTISING	\$2,955.87	
	\$2,955.87 Subtotal for Dept.	Casper Events Center
	\$2,955.87 Subtotal for Vendor	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

BRUCE A. RAISCH

564812 BOOKS FOR RESALE

\$78.00

\$78.00 Subtotal for Dept. General - Fort Caspar

\$78.00 Subtotal for Vendor

BURNS & MCDONNELL ENGINEERING CO., INC.

78807-25 PROGRAMABLE LOGIC CONTROL REPL

\$6,130.27

\$6,130.27 Subtotal for Dept. Waste Water

\$6,130.27 Subtotal for Vendor

C L & C DRILLING

10-2-16 HOGADON SUMP REPAIR

\$5,316.00

\$5,316.00 Subtotal for Dept. Hogadon

\$5,316.00 Subtotal for Vendor

CASPAR BUILDING SYSTEMS, INC.

RIN0027200 RETAINAGE

(\$38,081.40)

RIN0027187 RETAINAGE

(\$177.73)

(\$38,259.13) Subtotal for Dept. Capital Projects - Engineering

RIN0027187 STORAGE BUILDING

\$18,825.40

RIN0027187 STORAGE BUILDING

\$87,384.60

\$106,210.00 Subtotal for Dept. Casper Events Center

RIN0027200 FIRE STATION #6 CONSTRUCTION

\$552,480.00

\$552,480.00 Subtotal for Dept. Fire

\$620,430.87 Subtotal for Vendor

CASPER AREA TRANSPORTATION COALITION

2016-901 FTA BUS EXPENSES

\$58,818.00

2016-903 BUS EXPENSES

\$45,295.00

2016-904 CATC EXPENSE

\$22,194.00

2016-902 FTA CATC EXPENSES

\$23,902.00

1520506 WYDOT BUS

\$114,979.00

1520507 WYDOT BUS

\$114,979.00

\$380,167.00 Subtotal for Dept. C.A.T.C.

\$380,167.00 Subtotal for Vendor

CASPER PUBLIC UTILITIES

RIN0027183 SEWER

\$20.54

RIN0027183 SANITATION

\$105.00

\$125.54 Subtotal for Dept. Water Treatment Plant

\$125.54 Subtotal for Vendor

CASPER SOCCER CLUB

RIN0027191 REFUNDABLE DEPOSIT

\$500.00

\$500.00 Subtotal for Dept. Recreation

\$500.00 Subtotal for Vendor

CASTEEL, ROBERT S

0027509059 UTILITY REFUND

\$42.57

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

CASTEEL, ROBERT S

\$42.57 Subtotal for Dept. Water

\$42.57 Subtotal for Vendor

CENTRAL WY. REGIONAL WATER

145625 WHOLESALE WATER

\$332,988.01

145617 SYSTEM INVESTMENT FEES

\$5,400.00

\$338,388.01 Subtotal for Dept. Water

\$338,388.01 Subtotal for Vendor

CENTURYLINK

RIN0027166 PHONE USE

\$62.06

\$62.06 Subtotal for Dept. Balefill

RIN0027192 PHONE USE

\$346.05

RIN0027192 PHONE USE

\$38.45

RIN0027192 PHONE USE

\$126.88

\$511.38 Subtotal for Dept. Casper Events Center

RIN0027192 PHONE USE

\$34.49

\$34.49 Subtotal for Dept. City Hall

RIN0027196 PHONE USE

\$65.48

\$65.48 Subtotal for Dept. Code Enforcement

RIN0027192 PHONE USE

\$65.16

RIN0027192 PHONE USE

\$38.45

RIN0027192 PHONE USE

\$61.38

RIN0027163 PHONE USE

\$29.73

RIN0027192 PHONE USE

\$61.38

RIN0027192 PHONE USE

\$65.48

RIN0027192 PHONE USE

\$61.38

RIN0027163 PHONE USE

\$10,920.01

RIN0027163 PHONE USE

\$493.31

RIN0027192 PHONE USE

\$83.90

RIN0027192 PHONE USE

\$314.61

RIN0027192 PHONE USE

\$61.38

RIN0027192 PHONE USE

\$205.67

RIN0027192 PHONE USE

\$23.37

RIN0027192 PHONE USE

\$83.90

RIN0027192 PHONE USE

\$302.51

RIN0027192 PHONE USE

\$167.22

\$13,038.84 Subtotal for Dept. Communications Center

AP000143B PHONE USE

\$930.33

AP00005711041623 PHONE BILL

\$2,679.08

\$3,609.41 Subtotal for Dept. Finance

RIN0027163 PHONE USE

\$29.86

RIN0027196 PHONE USE

\$65.48

RIN0027196 PHONE USE

\$65.48

RIN0027192 PHONE USE

\$76.90

RIN0027192 PHONE USE

\$74.68

RIN0027192 PHONE USE

\$38.45

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

CENTURYLINK

RIN0027192 PHONE USE	\$38.45	
RIN0027192 PHONE USE	\$65.48	
RIN0027192 PHONE USE	\$42.53	
RIN0027192 PHONE USE	\$65.48	
RIN0027192 PHONE USE	\$38.45	
	\$601.24	Subtotal for Dept. Fire
RIN0027192 PHONE USE	\$38.45	
RIN0027192 PHONE USE	\$63.42	
	\$101.87	Subtotal for Dept. Fleet Maintenance
RIN0027196 PHONE USE	\$44.29	
	\$44.29	Subtotal for Dept. Golf Course
RIN0027192 PHONE USE	\$83.04	
RIN0027192 PHONE USE	\$65.48	
	\$148.52	Subtotal for Dept. Parking
RIN0027196 PHONE USE	\$44.29	
RIN0027192 PHONE USE	\$122.77	
	\$167.06	Subtotal for Dept. Parks
RIN0027192 PHONE USE	\$23.41	
RIN0027163 PHONE USE	\$35.65	
RIN0027192 PHONE USE	\$63.42	
RIN0027192 PHONE USE	\$38.45	
RIN0027192 PHONE USE	\$65.48	
RIN0027192 PHONE USE	\$39.20	
	\$265.61	Subtotal for Dept. Police
RIN0027192 PHONE USE	\$38.45	
	\$38.45	Subtotal for Dept. Recreation
RIN0027192 PHONE USE	\$45.34	
RIN0027192 PHONE USE	\$57.59	
RIN0027192 PHONE USE	\$65.48	
	\$168.41	Subtotal for Dept. Streets
RIN0027192 PHONE USE	\$38.21	
RIN0027192 PHONE USE	\$1,646.76	
	\$1,684.97	Subtotal for Dept. Waste Water
RIN0027192 PHONE USE	\$38.45	
RIN0027192 PHONE USE	\$95.68	
RIN0027196 PHONE USE	\$196.13	
	\$330.26	Subtotal for Dept. Water
RIN0027165 PHONE USE	\$43.33	
	\$43.33	Subtotal for Dept. Water Treatment Plant
	\$20,915.67	Subtotal for Vendor

CIGNA HEALTH & LIFE INSURANCE COMPANY

2046723 PLAN ADMINISTRATION FEES	\$11,631.48	
2034080 PLAN ADMINISTRATION FEES	\$11,964.54	
	\$23,596.02	Subtotal for Dept. Health Insurance
	\$23,596.02	Subtotal for Vendor

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

CITY OF CASPER - BALEFILL

2772/145615 SANITATION	\$5,659.70	
2772/145262 SANITATION	\$4,698.08	
2772/145658 SANITATION	\$5,376.29	
2772/145359 SANITATION	\$5,858.51	
2772/145441 SANITATION	\$5,349.07	
2772/145308 SANITATION	\$6,205.41	
2772/145671 SANITATION	\$39,500.00	
2772/145334 SANITATION	\$6,115.17	
2772/145704 SANITATION	\$5,190.68	
2772/145517-541 SANITATION	\$11,221.64	
	\$95,174.55	Subtotal for Dept. Refuse Collection
1666/145440 SANITATION	\$57.75	
	\$57.75	Subtotal for Dept. Streets
1276/145516 SANITATION	\$517.53	
1276/145613 SANITATION	\$101.99	
1276/145656 SANITATION	\$439.66	
1276/145259 SANITATION	\$71.44	
	\$1,130.62	Subtotal for Dept. Waste Water
	\$96,362.92	Subtotal for Vendor

CIVIL ENGINEERING PROFESSIONALS, INC.

16-220-01 SURVEYING SERVICES	\$2,413.75	
	\$2,413.75	Subtotal for Dept. Aquatics
16-127-02 SURVEYING SERVICES	\$6,549.50	
	\$6,549.50	Subtotal for Dept. Special Revenue
	\$8,963.25	Subtotal for Vendor

CK MECHANICAL PLUMBING & HEATING, INC.

0000024574 TROUBLESHOOT ALARM	\$80.00	
	\$80.00	Subtotal for Dept. Waste Water
	\$80.00	Subtotal for Vendor

CLOUGH, ANGELA

0027552530 UTILITY REFUND	\$23.64	
	\$23.64	Subtotal for Dept. Water
	\$23.64	Subtotal for Vendor

CLYDE HANAMAIKAI

02172022 TOOL REIMBURSEMENT	\$90.68	
49243 TOOL REIMBURSEMENT	\$139.98	
	\$230.66	Subtotal for Dept. Fleet Maintenance
	\$230.66	Subtotal for Vendor

CMI TECO, INC.

0000261 WAYNE SIDE LOADER	\$242,672.45	
0000260 WAYNE SIDE LOADER	\$242,672.45	
	\$485,344.90	Subtotal for Dept. Refuse Collection

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

CMI TECO, INC.

\$485,344.90 Subtotal for Vendor

COMPUTER PROS. UNLIMITED

INV106619 TOWER

\$1,675.04

\$1,675.04 Subtotal for Dept. Balefill

INV106619 COMPUTER TOWER

\$837.52

\$837.52 Subtotal for Dept. Refuse Collection

INV106668 HP Z240 TOWER

\$837.52

\$837.52 Subtotal for Dept. Waste Water

\$3,350.08 Subtotal for Vendor

CUNNINGHAM, JEREMY

0027552527 UTILITY REFUND

\$22.33

\$22.33 Subtotal for Dept. Water

\$22.33 Subtotal for Vendor

DACUS, STEVE/CYNTHIA

0027509056 UTILITY REFUND

\$180.14

\$180.14 Subtotal for Dept. Water

\$180.14 Subtotal for Vendor

DAVIDSON FIXED INCOME MGMT.

2016-09CASPER MANAGEMENT FEES

\$6,120.56

\$6,120.56 Subtotal for Dept. Finance

\$6,120.56 Subtotal for Vendor

DAVISON, PAUL

0027552524 UTILITY REFUND

\$30.41

0027552524 UTILITY REFUND

\$29.66

\$60.07 Subtotal for Dept. Water

\$60.07 Subtotal for Vendor

DELL MARKETING LP

XK1XKNRX9 OFFICE PRO PLUS

\$2,072.82

\$2,072.82 Subtotal for Dept. Fire

XK1XKNT83 OFFICE PRO PLUS

\$345.47

\$345.47 Subtotal for Dept. Police

\$2,418.29 Subtotal for Vendor

DELTA CONSTRUCTION INC

RIN0027204 RETAINAGE

\$44,809.20

\$44,809.20 Subtotal for Dept. Capital Projects - Engineering

06 RETAINAGE

(\$44,809.20)

(\$44,809.20) Subtotal for Dept. Capital Projects - Hogadon

06 HOGADON LODGE

\$448,092.00

\$448,092.00 Subtotal for Dept. Hogadon

\$448,092.00 Subtotal for Vendor

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

DELTA DENTAL PLAN OF WY.

RIN0027156 DENTAL INSURANCE	\$32,909.00	
RIN0027158 DENTAL INSURANCE	\$1,547.70	
RIN0027197 DENTAL INSURANCE	\$33,255.00	
	\$67,711.70	Subtotal for Dept. Health Insurance
	\$67,711.70	Subtotal for Vendor

DEVOSS, JOHN

0027552528 UTILITY REFUND	\$56.57	
	\$56.57	Subtotal for Dept. Water
	\$56.57	Subtotal for Vendor

DOUBLE D WELDING & FABRICATION INC.

3943 SALTER/PLOW TRUCK REPAIR	\$1,845.00	
3944 SALTER/PLOW TRUCK REPAIR	\$1,845.00	
	\$3,690.00	Subtotal for Dept. Fleet Maintenance
3808 WASHINGTON PARK BANDSHELL STAG	\$12,515.00	
	\$12,515.00	Subtotal for Dept. One Cent #15
3808 WASHINGTON PARK BANDSHELL STAG	\$580.00	
	\$580.00	Subtotal for Dept. Parks
	\$16,785.00	Subtotal for Vendor

DPC INDUSTRIES, INC.

727000335-16 CHEMICALS	\$5,534.67	
	\$5,534.67	Subtotal for Dept. Water Treatment Plant
	\$5,534.67	Subtotal for Vendor

EKLUND, VICTORIA

0027509052 UTILITY REFUND	\$6.36	
	\$6.36	Subtotal for Dept. Water
	\$6.36	Subtotal for Vendor

ENGINEERING DESIGN ASSOCIATES

09584 ELECTRICAL DESIGN	\$625.00	
	\$625.00	Subtotal for Dept. Balefill
09582 EMERGENCY GENERATOR PROJECT	\$1,375.00	
	\$1,375.00	Subtotal for Dept. Casper Events Center
09583 LIFESTEPS FIRE SUPPRESSION	\$6,327.50	
	\$6,327.50	Subtotal for Dept. CDBG
	\$8,327.50	Subtotal for Vendor

EROSION CONTROL APPLICATIONS, INC.

RIN0027169 HOGADON MEMBRANE REPAIR	\$16,850.00	
	\$16,850.00	Subtotal for Dept. Hogadon
	\$16,850.00	Subtotal for Vendor

FIRST DATA MERCHANT SVCS CORP.

REMI1200178 MERCHANT FEES	\$85.09	
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Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

FIRST DATA MERCHANT SVCS CORP.

REMI1200169 MERCHANT FEES

\$85.09 Subtotal for Dept. Code Enforcement
\$2,438.40
\$2,438.40 Subtotal for Dept. Finance
\$2,523.49 Subtotal for Vendor

FIRST INTERSTATE BANK

RIN0027115-R INVESTIGATION SERVICES
RIN0027116-R INVESTIGATION SERVICES

\$36.50
\$30.00
\$66.50 Subtotal for Dept. Police
\$66.50 Subtotal for Vendor

FIRST INTERSTATE BANK - PETTY CASH

RIN0027182 PETTY CASH - COMMUNITY DEVELOP

\$8.41
\$8.41 Subtotal for Dept. City Attorney

RIN0027182 PETTY CASH - COMMUNITY DEVELOP
RIN0027182 PETTY CASH - COMMUNITY DEVELOP

\$59.73
\$27.00
\$86.73 Subtotal for Dept. Code Enforcement

RIN0027182 PETTY CASH - COMMUNITY DEVELOP
RIN0027182 PETTY CASH - COMMUNITY DEVELOP

\$6.03
\$57.35
\$63.38 Subtotal for Dept. Metropolitan Planning

RIN0027182 PETTY CASH - COMMUNITY DEVELOP
RIN0027182 PETTY CASH - COMMUNITY DEVELOP
RIN0027182 PETTY CASH - COMMUNITY DEVELOP

\$22.96
\$38.99
\$75.00
\$136.95 Subtotal for Dept. Planning

RIN0027185 PETTY CASH - CRC
RIN0027185 PETTY CASH - CRC
RIN0027185 PETTY CASH - CRC

\$11.47
\$15.00
\$15.00
\$41.47 Subtotal for Dept. Recreation

RIN0027214 PETTY CASH - FIRE

\$30.54
\$30.54 Subtotal for Dept. Fire
\$367.48 Subtotal for Vendor

GARY MARSH, INC.

376 COMMISSION FEES

\$4,234.05
\$4,234.05 Subtotal for Dept. Golf Course
\$4,234.05 Subtotal for Vendor

GLOBAL SPECTRUM L.P.

OCTOBER ATM OCTOBER ATM REIMBURSEMENT

\$21,800.00
\$21,800.00 Subtotal for Dept. Casper Events Center
\$21,800.00 Subtotal for Vendor

GOLDER ASSOCIATES

462457 POST CLOSURE
460267 AUTOMATED LEACHATE COLLECTION
462456 POST CLOSURE

\$1,511.88
\$5,232.80
\$267.75
\$7,012.43 Subtotal for Dept. Balefill

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

GOLDER ASSOCIATES

\$7,012.43 Subtotal for Vendor

GPC ARCHITECTS PLLC

RIN0027203 HOGADON LODGE

\$7,035.59

\$7,035.59 Subtotal for Dept. Hogadon

\$7,035.59 Subtotal for Vendor

GW MECHANICAL, INC.

RIN0027186 RETAINAGE

(\$440.00)

(\$440.00) Subtotal for Dept. Capital Projects - Casper Events Center

RIN0027186 CHILLER REPLACEMENT

\$4,400.00

\$4,400.00 Subtotal for Dept. Casper Events Center

\$3,960.00 Subtotal for Vendor

HARVEY, CHRISTY

0027552532 UTILITY REFUND

\$47.80

\$47.80 Subtotal for Dept. Water

\$47.80 Subtotal for Vendor

HDR ENGINEERING, INC.

1200016979 ON-GOING STUDIES, TASKS, AND

\$7,512.08

\$7,512.08 Subtotal for Dept. Water

\$7,512.08 Subtotal for Vendor

HEALTH SOLUTIONS SERVICES, INC

2016085005 WELLNESS TESTING

\$7,614.00

\$7,614.00 Subtotal for Dept. Health Insurance

\$7,614.00 Subtotal for Vendor

HEARTLAND PAPER COMPANY

301996-0 GLASS CLEANER

\$92.68

\$92.68 Subtotal for Dept. Casper Events Center

\$92.68 Subtotal for Vendor

HEDQUIST CONSTRUCTION, INC.

RIN0027189 EAST 21ST ST IMPROVEMENTS

\$2,505.27

\$2,505.27 Subtotal for Dept. Sewer

RIN0027189 EAST 21ST ST IMPROVEMENTS

\$20,168.41

\$20,168.41 Subtotal for Dept. Streets

RIN0027189 EAST 21ST ST IMPROVEMENTS

\$18,022.48

\$18,022.48 Subtotal for Dept. Water

\$40,696.16 Subtotal for Vendor

HIGH PLAINS CONSTRUCTION, INC.

PA1 16-111 HOTMIX

\$3,801.32

\$3,801.32 Subtotal for Dept. Streets

\$3,801.32 Subtotal for Vendor

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

HOLESHOT LAWN CARE & SNOW REMOVAL LLC

INV011 WEED MOWING

\$287.68
\$287.68 Subtotal for Dept. Code Enforcement
\$287.68 Subtotal for Vendor

HOMAX OIL SALES, INC.

0346511-IN FUEL

\$2,073.60
\$2,073.60 Subtotal for Dept. Balefill

0345633-IN OIL

\$203.20
\$203.20 Subtotal for Dept. Fleet Maintenance

0346286-IN FUEL

\$2,088.82
\$2,088.82 Subtotal for Dept. Golf Course

0346391-IN FUEL

\$16,379.52
\$16,379.52 Subtotal for Dept. Refuse Collection

CL75924 FUEL

\$3,720.44
\$3,720.44 Subtotal for Dept. Water
\$24,465.58 Subtotal for Vendor

INBERG-MILLER ENGINEERS

17466CM01.19 FUEL TANK TESTING

\$1,218.00
\$1,218.00 Subtotal for Dept. Fleet Maintenance
\$1,218.00 Subtotal for Vendor

INDUSTRIAL REPAIR SERVICE, INC.

189172 REPAIR TURBIDIMETER

\$1,258.79
\$1,258.79 Subtotal for Dept. Water Treatment Plant
\$1,258.79 Subtotal for Vendor

INTERNATIONAL COLISEUMS COMPANY

7 STORAGE BUILDING

\$8,972.88
\$8,972.88 Subtotal for Dept. Casper Events Center
\$8,972.88 Subtotal for Vendor

JACKA, APRIL

0027509054 UTILITY REFUND

\$17.93
\$17.93 Subtotal for Dept. Water
\$17.93 Subtotal for Vendor

JEFF BRONECK

RIN0027190 TRAVEL EXPENSES

\$67.18
\$67.18 Subtotal for Dept. Police Grants
\$67.18 Subtotal for Vendor

JOHNSON, ORVAL

0027509058 UTILITY REFUND

\$20.76
\$20.76 Subtotal for Dept. Water
\$20.76 Subtotal for Vendor

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

JON PETERSON

05600Z CLOTHING REIMBURSEMENT

\$300.00
\$300.00 Subtotal for Dept. Police
\$300.00 Subtotal for Vendor

KEVIN ROBERTS

RIN0027180 BOOT REIMBURSEMENT

\$46.97
\$46.97 Subtotal for Dept. Weed And Pest
\$46.97 Subtotal for Vendor

KIMSEY, STEPHANIE/JOSEPH

0027552529 UTILITY REFUND

\$46.82
\$46.82 Subtotal for Dept. Water
\$46.82 Subtotal for Vendor

KLOEPPEL, AMANDA

0027552523 UTILITY REFUND

\$46.32
\$46.32 Subtotal for Dept. Water
\$46.32 Subtotal for Vendor

KNIFE RIVER/JTL

RIN0027168 RETAINAGE RELEASE

14-18-11 W YELLOWSTONE HWY & WALNUT ST
140452 CONCRETE
14-18-12 W YELLOWSTONE HWY & WALNUT ST

\$16,042.33
\$16,042.33 Subtotal for Dept. Capital Projects - Engineering
\$22,050.79
\$456.00
\$992.25
\$23,499.04 Subtotal for Dept. Streets
\$39,541.37 Subtotal for Vendor

KONE, INC.

1157291650 ELEVATOR REPAIR

\$538.96
\$538.96 Subtotal for Dept. Water Treatment Plant
\$538.96 Subtotal for Vendor

LARSEN, DIANE

0027552525 UTILITY REFUND

\$9.06
\$9.06 Subtotal for Dept. Water
\$9.06 Subtotal for Vendor

LINCOLN NATL. LIFE INS. CO.

RIN0027198 RETIREE LIFE
RIN0027157 RETIREE LIFE

\$293.03
\$293.03
\$586.06 Subtotal for Dept. Health Insurance
\$586.06 Subtotal for Vendor

LONG BUILDING TECHNOLOGIES

SRVCE0079765 FURNACE MAINTENANCE

\$172.50
\$172.50 Subtotal for Dept. Balefill

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

LONG BUILDING TECHNOLOGIES

SCPAY0035752 MAINTENANCE AGREEMENT

\$3,662.25
\$3,662.25 Subtotal for Dept. Water Treatment Plant
\$3,834.75 Subtotal for Vendor

MARK ANDERSON

1-252716 BOOT REIMBURSEMENT

\$31.50
\$31.50 Subtotal for Dept. Water
\$31.50 Subtotal for Vendor

MCMURRY READY MIX CO.

224227 ULTRA FIBER

\$296.25
\$296.25 Subtotal for Dept. Streets

224185 CONCRETE

\$108.50

224184 CONCRETE

\$217.00

\$325.50 Subtotal for Dept. Water
\$621.75 Subtotal for Vendor

MONTANA ASSOCIATION OF HEALTH CARE PURCHASERS

CC093016 HEALTH SERVICES

\$2,371.20
\$2,371.20 Subtotal for Dept. Health Insurance
\$2,371.20 Subtotal for Vendor

MOTOROLA SOLUTIONS

13132939 MONTHLY MAINTANCE AGREEMENT

\$2,369.00
\$2,369.00 Subtotal for Dept. Communications Center
\$2,369.00 Subtotal for Vendor

MOUNTAIN WEST TELEPHONE/ WERCS COMMUNICATIONS

33414 INTERNET SERVICE

\$1,015.00
\$1,015.00 Subtotal for Dept. Finance
\$1,015.00 Subtotal for Vendor

NAPA AUTO PARTS CORP.

090658 ACCESSORIES

\$7,758.00
\$7,758.00 Subtotal for Dept. Fleet Maintenance
\$7,758.00 Subtotal for Vendor

NATIONAL BENEFIT SERVICES

559142 PLAN ADMINISTRATION FEES

\$413.00
\$413.00 Subtotal for Dept. Health Insurance
\$413.00 Subtotal for Vendor

NATRONA COUNTY - SHERIFFS' OFFICE

2223 JUVENILE PRISONER CARE

\$7,500.00
\$7,500.00 Subtotal for Dept. Police
\$7,500.00 Subtotal for Vendor

NEVE'S UNIFORMS, INC.

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

NEVE'S UNIFORMS, INC.

NE49958 UNIFORM

\$19.94

\$19.94 Subtotal for Dept. Communications Center

\$19.94 Subtotal for Vendor

NEZ, JACQUELINE

0027552535 UTILITY REFUND

\$60.07

\$60.07 Subtotal for Dept. Water

\$60.07 Subtotal for Vendor

NORTHWEST COMMUNITY ACTION PROGRAMS OF WY INC

ER-103116-1334 E-WASTE DISPOSAL

\$1,681.20

\$1,681.20 Subtotal for Dept. Balefill

\$1,681.20 Subtotal for Vendor

OIL CITY PRINTERS

16-10-322 BUSINESS CARDS

\$20.00

\$20.00 Subtotal for Dept. Fire

\$20.00 Subtotal for Vendor

ONE CALL OF WY.

42990 LOCATE TICKETS

\$435.04

\$435.04 Subtotal for Dept. Sewer

42990 LOCATE TICKETS

\$531.71

\$531.71 Subtotal for Dept. Water

\$966.75 Subtotal for Vendor

OSBORNE, GARY

0027509057 UTILITY REFUND

\$18.70

\$18.70 Subtotal for Dept. Water

\$18.70 Subtotal for Vendor

P-CARD VENDORS

00050272 INTERNATIONAL TRANSACTION

\$3.21

00051264 CASPER STAR TRIBUNE

\$473.24

00050987 ATLAS

\$17.73

00051181 HAWKINS INC

\$3,293.78

00051202 IN ORIGINAL WATERMEN

\$164.35

00050993 CREDIT INTERNATIONAL TRAN - Cr

(\$3.21)

\$3,949.10 Subtotal for Dept. Aquatics

00051110 BEARING BELTCHAIN00244

\$415.95

00051049 NORCO INC

\$160.00

00051060 SAMS CLUB #6425

\$242.72

00051114 BEARING BELTCHAIN00244

\$148.47

00051283 IN ICLEAN307

\$2,150.00

00051015 COCA COLA BOTTLING CO

\$7.35

00051139 MCCOY SALES CORPORATIO

\$6.76

00051038 NORCO INC

\$314.03

00051060 SAMS CLUB #6425

\$18.94

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00051085 HONNEN EQUIPMENT 04 - Credit	(\$577.83)	
00051065 AIRGAS CENTRAL	\$84.30	
00051145 SAMS CLUB #6425	\$23.72	
00051064 CASPER TIRE 0000705	\$25.00	
00051104 WYOMING STEEL AND RECY	\$91.43	
00050809 WEAR PARTS INC	\$624.60	
00050164 FRONTIER PRECISION INC	\$2,206.25	
00051201 AIRGAS CENTRAL	\$122.49	
00050552 IN ICLEAN307	\$2,150.00	
00050656 AGP PROPANE SERVICES	\$219.30	
00050673 TRI STATE EQUIP-CASPER	\$136.87	
00050700 HONNEN EQUIPMENT 04	\$577.83	
00050949 CASPER STAR TRIBUNE	\$445.84	
00050738 WYOMING MACHINERY CO	\$683.82	
00050848 PINE ENVIRONMENTAL	\$381.96	
00050875 CASPER CONTRACTORS SUP	\$45.80	
00050932 WYOMING MACHINERY CO	\$4,287.33	
00050542 CASPER STAR TRIBUNE	\$338.28	
00050735 HONNEN EQUIPMENT 04	\$1,802.69	
00050985 IN PEDENS INC.	\$186.00	
00050961 AMERI-TECH EQUIPMENT C	\$1,779.12	
00050988 WW GRAINGER	\$1,275.00	
00051012 HOWARD SUPPLY COMPANY	\$417.47	
00050845 COCA COLA BOTTLING CO	\$14.70	
00050918 CASPER STAR TRIBUNE	\$252.42	
00050951 CASPER STAR TRIBUNE	\$495.36	
00050983 WYOMING MACHINERY CO	\$2,814.00	
00050967 BAILEYS ACE HDWE	\$57.55	
00050542 CASPER STAR TRIBUNE	\$338.28	
	\$24,763.80	Subtotal for Dept. Balefill
00050842 WW GRAINGER	\$18.29	
00050920 SHERWIN WILLIAMS 70343	\$138.49	
00050931 CASPER WINNELSON CO	\$178.18	
00050980 DIAMOND VOGEL PAINT #7	\$32.49	
00050992 RMI WYOMING INC	\$155.66	
00050995 BLOEDORN LUMBER CASPER	\$18.98	
00051002 WW GRAINGER	\$140.68	
00050333 WW GRAINGER	\$233.75	
00050665 DIAMOND VOGEL PAINT #7	\$83.82	
00050626 BAILEYS ACE HDWE	\$41.97	
00050633 BLOEDORN LUMBER CASPER	\$6.29	
00050622 BARGREEN WYOMING 25	\$29.20	
00050639 CASPER WINNELSON CO	\$51.73	
00049229 NORCO INC	\$107.86	
00050594 CASPER WINNELSON CO	\$25.55	
00050913 CASPER WINNELSON CO	\$35.02	
00051189 BAILEYS ACE HDWE	\$16.97	
00050645 DENNIS SUPPLY COMPANY	\$17.73	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050642 CASPER WINNELSON CO	\$578.40	
00051126 REFRIGERATION HARDWR S	\$143.62	
00050676 BAILEYS ACE HDWE	\$3.20	
00050719 WW GRAINGER	\$46.77	
00050721 0970 CED	\$68.00	
00050762 0970 CED	\$109.58	
00050775 BLOEDORN LUMBER CASPER	\$29.22	
00050780 SUTHERLANDS 2219	\$179.95	
00050836 0970 CED	\$105.00	
00051076 SHERWIN WILLIAMS 70343	\$63.31	
00051177 WW GRAINGER	\$110.00	
	\$2,769.71	Subtotal for Dept. Buildings & Structures
00051373 CASPER STAR TRIBUNE	\$83.24	
00051373 CASPER STAR TRIBUNE	\$83.24	
	\$166.48	Subtotal for Dept. C.A.T.C.
00050362 BEACON ATHLETICS	\$779.52	
00050354 GRAFFS TURF FARMS	\$555.00	
	\$1,334.52	Subtotal for Dept. Capital Projects - Parks
00050677 THE HOME DEPOT #6001	\$10.98	
	\$10.98	Subtotal for Dept. Cemetery
00051238 ATLAS OFFICE PRODUCTS	\$27.89	
00050946 ATLAS OFFICE PRODUCTS	\$17.03	
00051322 TOP OFFICE PRODUCTS IN	\$114.15	
00050168 WYOMING STATE BAR	\$355.00	
00050545 FAIRFIELD INN & SUITES	\$154.00	
00050127 UW CASHIER OFFICE	\$50.00	
00051331 FEDEX 22304487	\$33.25	
	\$751.32	Subtotal for Dept. City Attorney
00051247 SAM'S CLUB	\$36.86	
00050701 RIDLEY'S 1132	\$10.17	
00050611 RIDLEY'S 1132	\$11.72	
00050662 SQU SQ THE FLOUR BIN	\$53.55	
	\$112.30	Subtotal for Dept. City Manager
00051025 SAMSClub #6425	\$90.12	
00051169 ATLAS REPRODUCTION	\$18.90	
00051112 AMBI MAIL AND MARKETIN	\$302.00	
	\$411.02	Subtotal for Dept. Code Enforcement
00051424 HERO 247	\$300.00	
00051419 SOURCE OFFICE AND TECH	\$275.00	
00051457 AT&T 0512212711001	\$41.43	
00051406 VZWRLLS IVR VB	\$122.78	
00051405 DTV DIRECTV SERVICE	\$61.99	
00049838 NATIONAL ACADEMY OF EM	\$100.00	
00051461 MOBIL SATELLITE TECHNO	\$1,199.88	
	\$2,101.08	Subtotal for Dept. Communications Center
00050801 CHARLIE T S PIZZERIA	\$25.07	
00050831 SAMSClub #6425	\$1,244.86	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050855 CPU IIT	\$917.98	
00051152 KAREN & JIM'S RESTAURA	\$35.55	
00051372 SQ THE FLOUR BIN L	\$15.90	
00051247 SAM'S CLUB	\$55.52	
	\$2,294.88	Subtotal for Dept. Council
00050979 XEROX CORPORATION/RBO	\$29.28	
00049444 BOARD OF PE AND PLS	\$90.00	
00050936 XEROX CORPORATION/RBO	\$139.51	
00049963 EB WYOMING ECLIPSE FE	\$45.00	
	\$303.79	Subtotal for Dept. Engineering
00050792 IN AUDIMATION SERVICE	\$501.12	
00050957 ATLAS OFFICE PRODUCTS	\$31.80	
00049701 ATLAS OFFICE PRODUCTS	\$39.46	
00049776 ATLAS OFFICE PRODUCTS	\$59.44	
00049978 ATLAS OFFICE PRODUCTS	\$41.65	
00051071 DAYS INN - Two night stay - WA	\$178.00	
00050612 FACTORYOUTLETSTORE.COM	\$16.90	
00050900 BUS MGMT DAILY	\$197.00	
00050658 CASPER STAR TRIBUNE	\$365.56	
00050666 ATLAS OFFICE PRODUCTS	\$17.26	
00050461 ATLAS OFFICE PRODUCTS	\$336.49	
00050810 AP TECHNOLOGY	\$330.00	
00050960 CASPER STAR TRIBUNE	\$161.72	
00050777 ATLAS OFFICE PRODUCTS	\$13.60	
00050492 ATLAS OFFICE PRODUCTS	\$33.93	
	\$2,323.93	Subtotal for Dept. Finance
00050607 WM SUPERCENTER #3778	\$17.97	
00051225 EXXONMOBIL 47626544	\$62.41	
00050877 CPU IIT	\$35.99	
00050904 STAPLES 00114181	\$639.97	
00051157 FEDEX 784423416162	\$204.45	
00050944 PILOT 00007583	\$41.46	
00050371 BEARING BELTCHAIN00244	\$7.58	
00050646 CHEYENNE REGIONAL FOUN	\$160.00	
00050627 KINSCO	\$5,429.37	
00050401 SUTHERLANDS 2219	\$12.69	
00050613 ATLAS OFFICE PRODUCTS	\$48.14	
00050816 SUBWAY 00264739	\$10.80	
00051003 EXXONMOBIL 47626544	\$34.00	
00051090 WALGREENS #7462	\$21.96	
00050599 WAL-MART #3778	\$17.97	
00051039 COMTRONIX	\$234.00	
00050455 HOLIDAY INN RIVERTON	\$599.47	
00050784 WENDYS #404	\$9.41	
00051057 EXXONMOBIL 47626544	\$17.93	
00050497 STAPLES 00114181	\$55.15	
00050521 PINMART, INC	\$72.80	
00051070 OFFICEMAX/OFFICEDEPOT6	\$87.07	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050846	MERBACK AWARDS COMPANY	\$1,199.70	
00050854	STAPLES 00114181	\$79.46	
00050541	EXXONMOBIL 47626544	\$20.98	
00050717	EXXONMOBIL 47626544	\$34.70	
00050843	EXXONMOBIL 47626544	\$32.00	
00051288	THE HOME DEPOT #6001	\$6.76	
00050458	EXXONMOBIL 47626544	\$29.21	
00051278	DEWITT WATER SYS & SER	\$346.50	
00050857	NFPA NATL FIRE PROTECT	\$113.90	
00051277	VZWRLSS BILL PAY VB	\$120.03	
00051291	VZWRLSS BILL PAY VB	\$1,834.86	
00051270	HOBBY-LOBBY #0233	\$31.44	
00050902	IN FIRED UP RESCUE LL	\$3,000.00	
00050486	BEARING BELTCHAIN00244	\$328.50	
00050976	FIRE PROTECTION PUB WE	\$462.00	
00050422	WPSG. INC 800-852-6088	\$55.98	
00050292	NFPA NATL FIRE PROTECT	\$175.00	
00049965	EB WYOMING ECLIPSE FE	\$45.00	
00050238	HOBBY-LOBBY #0233	\$402.13	
00050791	HOLIDAY INN RIVERTON	\$599.47	
00049821	DTV DIRECTV SERVICE	\$126.83	
	\$16,865.04 Subtotal for Dept.		Fire
00051363	DRIVE TRAIN CASPER - Credit	(\$201.88)	
00051311	WYO MACH-SEALS	\$6.67	
00049959	NETWORK FLEET. INC.	\$18.95	
00050947	GREINER FORD LINCOLN O - SHOCK	\$165.56	
00050956	CAPITAL BUSINESS SYSTE	\$26.00	
00051315	FLEETPRIDE 893 - 3/8 BLUE TUBI	\$82.00	
00050968	URGENT CARE OF CASPER	\$32.00	
00051391	GOODYEAR COMMERCIAL TI	\$1,011.38	
00051311	WYO MACH	\$19.62	
00051066	AGP PROPANE SERVICES	\$18.89	
00051027	BAILEYS ACE HDWE - U BOLT	\$6.88	
00051432	CASPER TIRE 0000705	\$52.00	
00051311	WYO MACH-VALVE	\$754.28	
00051311	WYO MACH-	\$3,437.44	
00051311	WYO MACH	\$231.71	
00050757	GRAINGER/WATER PUMP	\$121.86	
00050745	BRAKE SUPPLY COMPANY I	\$247.66	
00050743	GREINER -SEAT BELT	\$107.66	
00050713	FLEETPRIDE 893	\$77.34	
00050711	BRAKE SUPPLY COMPANY I	\$397.00	
00050689	JACKS TRUCK AND EQUIPMT	\$168.64	
00050893	SAMS CLUB #6425	\$103.66	
00050852	STOTZ EQUIPMENT - BELT	\$50.99	
00051361	COMMUNICATION TECHNOLO -REPAIR	\$570.00	
00051311	WYO MACH-SEALS	\$2.97	
00050583	NAPA	\$25.09	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050872	FRANK J. ZAMBONI & CO. - GEAR	\$124.00
00050687	GOODYEAR COMMERCIAL TI	\$395.53
00051311	WYOMING MACH	\$325.71
00050897	AMERI-TECH EQUIPMENT C	\$226.65
00050899	WW GRAINGER	\$17.17
00051311	WYO MACH-VALVE CAP & SEAL	\$32.15
00051311	WYO MACH	\$134.10
00050069	HARTZ E&F TOWING-TOWING	\$75.00
00051311	WYO MACH-ANTENNA	\$21.90
00051398	WEAR PARTS -3/8 ALLTHREAD	\$14.43
00051441	STOTZ EQUIPMENT-IDLER & MISC P	\$312.29
00051296	STOTZ -SWITCH/DIODE	\$54.89
00051311	WYO MACH-INSTALL KIT	\$132.04
00050583	NAPA	\$69.00
00051429	GRAINGER	\$13.20
00050583	NAPA	(\$11.24)
00050757	WW GRAINGER	\$13.24
00051436	GREINER FORD LINCOLN O	\$172.81
00050883	WW GRAINGER	\$25.14
00051410	DRIVE TRAIN -R803109 SLACK	\$76.25
00051252	GREINER FORD LINCOLN O - SEAL,	\$26.88
00051233	WATEROUS COMPANY - INTAKE SCRE	\$62.56
00051437	DRIVE TRAIN CASPER	\$8.28
00051272	DRIVE TRAIN CASPER	\$36.60
00050583	NAPA-U-BOLTS	\$20.28
00050661	GOODYEAR COMMERCIAL TI	\$668.63
00050632	GREINER FORD LINCOLN O	\$119.28
00050621	EATON SALES & SERVICE	\$613.00
00050583	NAPA	\$19.77
00050583	NAPA-CORE CREDIT	(\$18.08)
00051444	GOODYEAR COMMERCIAL TI	\$670.00
00050583	BEARING BELTCHAIN00244	\$15.78
00051285	GREINER FORD LINCOLN O - ELEME	\$160.90
00050583	NAPA	\$10.76
00050558	BRAKE SUPPLY COMPANY I	\$90.66
00050583	NAPA	\$24.72
00050583	NAPA-U-BOLTS	\$13.52
00050583	NAPA-FUEL MODULE	\$161.69
00050583	NAPA-CORE CREDIT	(\$36.06)
00050583	NAPA-CORE CREDIT	(\$18.08)
00051429	WW GRAINGER	\$36.52
00050686	ALPINE MOTOR -LUG NUTS	\$25.44
00050583	NAPA	\$166.28
00051127	GREINER -BRAKE LEVER	\$62.42
00051197	HOSE & RUBBER SUPPLY I	\$4.77
00051195	GREINER -TRANNNY HSG PARTS	\$220.16
00051194	GREINER FORD LINCOLN O - Credi	(\$41.11)
00051191	GREINER FORD LINCOLN O - Credi	(\$41.11)

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00051186	WW GRAINGER	\$18.42
00051182	WW GRAINGER	\$443.30
00051180	AMERI-TECH EQUIPMENT C	\$393.64
00051470	JACKS TRUCK -40010070 SLACK AD	\$102.98
00051175	GOODYEAR COMMERCIAL TI - 20.5R	\$138.28
00051332	AMERI-TECH EQUIPMENT C	\$393.64
00051160	STOTZ -FILTER HOUSING	\$25.59
00051155	WYOMING MACH-BRACKETS	\$176.70
00051069	APPLIED IND TECH 2733	\$91.59
00051339	DRIVE TRAIN CASPER	\$201.88
00051204	GREINER FORD LINCOLN O	\$215.32
00051119	GOODYEAR COMMERCIAL TI	\$1,196.88
00051117	WYOMING MACHINERY CO	\$2,478.91
00051117	WYOMING MAVHINERY CO	\$1,164.62
00051117	WYOMING MACHINERY CO	\$147.88
00051313	GREINER-TRANS PLUG	\$8.76
00051108	EQUIPMENT COMPANY OF	\$4,945.66
00051341	DRIVE TRAIN CASPER	\$125.57
00051099	GREINER FORD LINCOLN O	\$11.98
00051088	DRIVE TRAIN CASPER	\$152.85
00050747	GOODYEAR COMMERCIAL TI - STOCK	\$1,196.88
00051086	EQUIPMENT COMPANY OF	\$2,446.29
00050765	GREINER FORD -WHEEL ASY	\$368.19
00051304	GOODYEAR COMMERCIAL TI	\$1,764.72
00051220	NAPA-7565 BATTERY	\$113.21
00051274	DECKER AUTO GLASS	\$35.60
00051271	WW GRAINGER -LAMPS	\$30.15
00051268	GREINER FORD LINCOLN O	\$26.72
00051263	ALSCO INC.	\$685.50
00051258	NORCO INC SCRUBBS COM	\$87.81
00051257	NORCO INC SCRUBBS COM	\$77.57
00051243	STOTZ -LVU803140 FUSE	\$41.22
00051321	GREINER FORD LINCOLN O - TUBE	\$61.02
00051237	SPARTANCHASSIS (APA)	\$185.91
00051220	NAPA	(\$17.82)
00051220	NAPA-CORE CREDIT	(\$18.08)
00051220	NAPA-CORE CREDIT	(\$18.08)
00051197	HOSE & RUBBER SUPPLY I	\$4.77
00051220	BEARING BELTCHAIN00244	\$1,378.56
00051299	DRIVE TRAIN CASPER	\$29.92
00051220	NAPA-AIR HOSES/CHUCKS	\$257.04
00051220	NAPA-CORE CREDIT	(\$18.08)
00051220	NAPA-ETHER CYL	\$35.95
00051220	NAPA-FT7864 BRAKE PAD	\$65.49
00051220	NAPA-(4) 7234 BATTERY	\$628.76
00051220	NAPA-(4) 7235 BATTERY	\$628.76
00051220	NAPA-CORE CREDIT	(\$18.08)
00051220	NAPA-CORE CREDIT	(\$36.06)

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00051220	NAPA-CORE CREDIT	(\$108.08)
00051220	NAPA	(\$5.98)
00051219	JACKS TRUCK -WATER VALVE	\$46.15
00051478	CASPER TIRE 0000705	\$67.00
00051078	GOODYEAR COMMERCIAL TI - LT235	\$593.48
00051220	NAPA-HUB BRG ASY	\$409.68
00050945	NAPA-7565 BATTERY	\$113.21
00050835	GOODYEAR COMMERCIAL TI - STOCK	\$472.92
00050945	NAPA-SWAY BAR LINKS	\$40.88
00050945	BEARING BELTCHAIN00244	\$1,942.90
00051068	GREINER FORD LINCOLN O	\$105.58
00050832	GOODYEAR COMMERCIAL TI - RECAP	\$2,848.78
00050813	GOODYEAR COMMERCIAL TI - STOCK	\$929.28
00050840	STOTZ EQUIPMENT	\$129.88
00050866	JACKS TRUCK AND EQUPMT	\$8.15
00050867	WW GRAINGER	\$307.29
00050945	NAPA-7565 BATTERY	\$113.21
00050790	GREINER FORD LINCOLN O - SENSO	\$27.55
00050945	NAPA-7565 BATTERY	\$113.21
00050948	WYO MACH	\$191.26
00050945	NAPA-7565 BATTERIES	\$226.42
00050730	GREINER FORD LINCOLN O - WIRE	\$32.77
00050929	GREINER FORD LINCOLN O	\$80.45
00050928	BOBCAT OF CASPER	\$208.00
00050921	CASPER AUTO -ATF FILTER	\$27.46
00050909	GREINER FORD LINCOLN O	\$64.97
00050906	WW GRAINGER-FOOT SWITCH	\$30.35
00050732	FREMONT MOTOR CASPER I - TRANN	\$135.58
00050894	COMPRESSION LEASING SV	\$878.27
00050881	AMERI-TECH EQUIPMENT C	\$225.55
00050876	WAUSAU EQUIPMENT COMPA	\$2,468.08
00050945	NAPA-BLOWER MTR ASY	\$162.18
00050815	CASPER MOUNTAIN -CLUTCH REPAIR	\$1,376.35
00051054	B & B AUTO ELECTRIC IN	\$85.00
00051052	BRAKE SUPPLY COMPANY I	\$803.58
00051044	THE ROCKY MOUNTAIN FLE	\$310.00
00051041	GREINER-MULTI-FUNCTION SWITCH	\$31.03
00051355	GREINER FORD LINCOLN O	\$119.61
00051033	MCCOY SALES CORPORATIO	\$50.30
00051032	LARIAT INTERNATIONAL T	\$130.29
00050781	EPASALES-JHP1230600 HOSE	\$1,573.45
00051460	CASPER TIRE 0000705	\$52.00
00050556	IN NUTECH SPECIALTIES	\$42.91
00050560	ATLAS OFFICE PRODUCTS	\$85.22
00050948	WYO MACH-FUEL TUBES	\$439.68
00050783	CASPER MOUNTAIN -CLUTCH REPAIR	\$1,376.35
00050948	WYO MACH-INSPECT GENERATOR	\$228.00
00050964	NORCO INC	\$10.00

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050619	GREINER FORD LINCOLN O - SENSO	\$56.48	
00050728	GREINER FORD LINCOLN O - SENSO	\$41.11	
00050948	WYO MACH	\$73.00	
00050948	WYO MACH	\$152.70	
00050948	WYO MACH-ETHER CYL ASY	\$46.37	
00050948	WYOMING MACHINERY CO	\$76.15	
00050948	WYO MACH	\$5.82	
00050948	WYO MACH	\$61.41	
00050948	WYO MACH	\$400.25	
00050945	NAPA	\$5.99	
00051360	GREINER FORD LINCOLN O	\$35.94	
		\$55,856.80	Subtotal for Dept. Fleet Maintenance
00051128	OU PRESS	\$96.00	
00050912	BAKER & TAYLOR - BOOKS - Credi	(\$4.56)	
00050690	BAKER-TAYLOR	\$357.84	
		\$449.28	Subtotal for Dept. General - Fort Caspar
00050787	PIONEER SAND CO HQ	\$1,816.31	
00050927	MENARDS CASPER WY	\$54.31	
00050793	BEARING BELTCHAIN00244	\$17.77	
00050998	ATLAS OFFICE PRODUCTS	\$38.94	
00050834	SP DENVER 1417	\$2,400.00	
00051208	CHARTER COMM	\$134.96	
		\$4,462.29	Subtotal for Dept. Golf Course
00050412	NORCO INC	\$108.40	
00050410	IN PEDENS INC.	\$387.88	
00051103	WOODLAND MILLS INC	\$1,798.00	
00051215	SQ SQ HITEK COMMUNIC	\$2,006.00	
00051211	NOLAND FEED INC.	\$105.00	
00051228	TRACTOR SUPPLY CO #199	\$119.98	
00051135	INTERNATIONAL TRANSACTION	\$14.38	
00050727	CPU IIT	\$190.00	
00051037	NOLAND FEED INC.	\$175.00	
00050882	AIRGAS CENTRAL	\$76.35	
00050889	ORKIN LLC 002	\$203.92	
00050778	THE HOME DEPOT #6001	\$46.23	
00050890	ALL OUT FIRE EXTINGUIS	\$1,025.00	
00050914	THE HOME DEPOT #6001	\$11.18	
00050850	AMAZON MKTPLACE PMTS	\$79.97	
00050878	CONTACT WIRELESS	\$120.18	
00050712	AMAZON MKTPLACE PMTS	\$33.88	
00050782	DRI PRINTING SERVICES	\$107.73	
00050930	KNIGHT EQUIPMENT CO IN	\$1,800.00	
00051190	GEOTEC INDUSTRIAL SUPP	\$185.40	
00050879	ENERGY LABORATORIES	\$20.00	
		\$8,614.48	Subtotal for Dept. Hogadon
00050859	USPS PO 5715580945	\$6.47	
00050860	ATLAS OFFICE PRODUCTS	\$86.57	
00050061	REALITY-BASED LEADERSH	\$69.97	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050763	ABSO	\$355.13		
		\$518.14	Subtotal for Dept.	Human Resources
00050864	FARMER BROS CO	\$221.87		
00050884	LOAF N JUG #0114 Q81	\$10.00		
00050945	NAPA	\$26.99		
00050987	ATLAS	\$190.11		
00050830	DOLLAR TREE	\$21.00		
00050847	HOWIES HOCKEY INC	\$198.60		
00050819	SAMSClub #6425	\$73.80		
00050838	BARGREEN WYOMING 25	\$9.44		
00050806	BARGREEN WYOMING 25	\$4.17		
00050779	SAMS CLUB #6425	\$130.26		
00051021	FACEBK UXR2RA6TE2	\$25.05		
00050910	LOAF N JUG #0114 Q81 - Credi	(\$4.11)		
00051087	SAMS CLUB #6425	\$201.19		
00051179	FACEBK JS23TASTE2	\$9.95		
00051072	AMAZON MKTPLACE PMTS	\$39.98		
00051024	THE MERRY PEDDLER	\$33.08		
00051029	CASPER RECREATIONAL LE	\$335.00		
00051199	WAL-MART #3778	\$22.47		
00050779	SAMS CLUB #6425	\$19.74		
		\$1,568.59	Subtotal for Dept.	Ice Arena
00050892	NETBRANDS MEDIA CORP.	\$441.40		
00050891	NETBRANDS MEDIA CORP.	\$455.36		
00051125	WESTSIDE ANIMAL HOSPIT	\$960.80		
00050916	IN GREAT PLAINS CLEAN	\$976.59		
00050858	CAMPBELL PET CO - WHOL	\$528.41		
00050990	WESTSIDE ANIMAL HOSPIT	\$746.64		
00051240	SHEET METAL SPECIALTIE	\$1,250.00		
00051031	COMTRONIX	\$108.00		
00051205	CUSTOMINK LLC	\$351.36		
00051343	VZWRLSS APOCC VISB	\$379.87		
00050984	OFFICEMAX/OFFICEDEPOT6	\$41.98		
		\$6,240.41	Subtotal for Dept.	Metro Animal
00050404	NMI NATIONWIDE	\$50.00		
00050911	ATLAS OFFICE PRODUCTS	\$55.78		
00049897	GOVTELLERNATRONAWYFEE	\$1.50		
		\$107.28	Subtotal for Dept.	Municipal Court
00050870	BLOEDORN LUMBER CASPER - Credi	(\$73.79)		
00050749	INTERSPEC LLC	\$740.00		
00050805	BRIDGER STEEL CASPER	\$851.86		
00050874	BAILEYS ACE HDWE	\$18.07		
00050588	BLOEDORN LUMBER CASPER	\$106.09		
00050551	PAYPAL MOBILEBLACK	\$98.00		
00050304	MICHAELSFENCE&SUPPLYIN - Credi	(\$121.51)		
00051007	LIGHTORAMAI	\$209.99		
00049959	NETWORK FLEET. INC.	\$160.80		
00050954	OFFICEMAX/OFFICEDEPOT6	\$49.99		

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050856	MENARDS CASPER WY	\$92.46	
00050014	OREILLY AUTO 00027466	\$10.52	
00050759	CRUM ELECTRIC SUPPLY C	\$2.31	
00050742	CASPER WINNELSON CO	\$1,017.90	
00050355	BAILEYS ACE HDWE	\$49.57	
00050392	MICHAELSFENCE&SUPPLYIN	\$69.38	
00050402	CPS DISTRIBUTORS INC C	\$97.02	
00050402	CPS DISTRIBUTORS INC C	\$198.23	
00050688	SQ SQ WYATT ELECTRIC	\$1,972.65	
00050465	CPS DISTRIBUTORS INC	\$32.34	
00050603	CRESCENT ELECTRIC 103	\$42.47	
00050576	BAILEYS ACE HDWE	\$153.12	
00050584	WYOMING STEEL AND RECY	\$66.34	
00050593	WM SUPERCENTER #1617	\$9.96	
00050431	CPS DISTRIBUTORS INC C	\$70.66	
00050669	SQ SQ WYATT ELECTRIC	\$1,484.59	
00050668	SQ SQ WYATT ELECTRIC	\$1,942.22	
00050635	BAILEYS ACE HDWE	\$23.97	
00050644	THE HOME DEPOT #6001	\$58.88	
00050664	CPS DISTRIBUTORS INC C	\$63.14	
00050659	SQ SQ WYATT ELECTRIC	\$842.88	
00050707	BAILEYS ACE HDWE	\$44.99	
00050465	CPS DISTRIBUTORS INC	\$235.33	
00051168	AMAZON.COM AMZN.COM/BI	\$78.97	
00051062	BAILEYS ACE HDWE	\$4.99	
00051105	AMAZON.COM AMZN.COM/BI	\$279.98	
00051113	THE HOME DEPOT #6001	\$120.40	
00051133	THE HOME DEPOT #6001	\$204.27	
00051153	THE HOME DEPOT #6001	\$12.40	
00051154	THE HOME DEPOT #6001	\$39.94	
00050898	BLOEDORN LUMBER CASPER	\$73.79	
00051184	CPS DISTRIBUTORS INC C	\$153.46	
00051014	CPS DISTRIBUTORS INC C	\$618.02	
00051000	THE HOME DEPOT #6001	\$24.97	
00050716	MICHAELSFENCE&SUPPLYIN	\$57.86	
00050938	SAMS CLUB #6425	\$75.92	
00050926	CASPER STAR TRIBUNE	\$218.38	
00050726	GEOTEC INDUSTRIAL SUPP	\$816.00	
00050903	BLOEDORN LUMBER CASPER	\$70.28	
		\$13,470.06	Subtotal for Dept. Parks
00051310	CASPER STAR TRIBUNE	\$66.20	
00050104	LA COCINA	\$861.75	
00050604	WM SUPERCENTER #3778	\$5.09	
00050614	WM SUPERCENTER #1617	\$20.37	
00051262	CASPER STAR TRIBUNE	\$61.44	
00050807	HOBBY-LOBBY #0233	\$25.62	
		\$1,040.47	Subtotal for Dept. Planning
00050731	TACO BELL #30309	\$11.59	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050629	UNITED 01626050164771	\$25.00
00051172	BUDGET RENTACARTOLL	\$17.55
00051434	SQ SQ ALL AROUND TOW	\$150.00
00050421	BUDGET.COM PREPAY RESE	\$295.58
00050808	SPRINGHILL SUITES NEWA	\$58.56
00050817	UNITED 01626052482880	\$25.00
00050818	BUDGET RENT-A-CAR	\$18.07
00050841	TC STARBUCKS C10421519	\$11.40
00050861	SBARRO JERGAR-12213104	\$7.90
00050863	DELTA CARLSTADT	\$17.00
00050795	TACO BELL #30473	\$12.34
00050888	NOLAND FEED INC.	\$75.20
00050895	SP 3GIS.BACKUPBRACE	\$78.90
00050617	MCDONALD'S F13573	\$2.00
00050958	RESPOND FIRST AID OF W	\$142.26
00050490	UNITED 01623215812805	\$811.70
00051030	SOURCE OFFICE AND TECH	\$25.11
00051221	MOUNTAIN STATES LITHOG	\$726.65
00051073	HOTELS.COM133191924702 - Credi	(\$537.07)
00051074	CHIEF SUPPLY	\$316.44
00051229	ATLAS OFFICE PRODUCTS	\$608.88
00051121	SPORTSMANS WAREHOUSE 1	\$119.42
00049881	GUERNSEY SINCLAIR	\$7.19
00051440	RICOH USA, INC	\$503.16
00051438	EXPERIAN EXP PAY CC	\$88.72
00050924	SOURCE OFFICE AND TECH	\$66.24
00051354	B & B RUBBER STAMP SHO	\$30.95
00051171	CONOCO - STOP-N-GO	\$33.00
00049695	CONOCO - HOMAX #2	\$43.44
00051217	CARHIRE	\$133.27
00049225	CONOCO - HOMAX #2	\$24.00
00048903	CONOCO - HOMAX #2	\$44.51
00049696	SAFEWAY FUEL 10024669	\$22.18
00049864	CONOCO - HOMAX #2	\$20.13
00051467	MERBACK AWARDS COMPANY	\$39.80
00051418	COWBOY SCRUBS	\$15.00
00051456	TLO TRANSUNION	\$112.50
00051454	SOURCE OFFICE AND TECH	\$11.50
00050628	CANTINA GRILL B	\$8.91
00051451	CERTIFIED BALANCE SER	\$109.00
00049827	DOMINO'S 6042	\$25.18
00051404	SOURCE OFFICE AND TECH	\$137.64
00050600	LUKOIL 57352	\$2.84
00049515	IN POWDER RIVER SHRED	\$105.00
00051395	WAL-MART #3778	\$12.04
00049572	THEBRAIN TECHNOLOGIES	\$299.00
00051428	GALLS HQ	\$123.94
	\$5,038.62 Subtotal for Dept. Police	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050274	MONOPRICE COM	\$44.45	
00050184	CDW GOVERNMENT	\$482.14	
00048677	GREINER MOTOR COMPANY	\$222.85	
00050989	EXTREME TRUCK INC	\$418.00	
00050950	HENSLEY BATTERY&ELEC	\$101.79	
		\$1,269.23	Subtotal for Dept. Police Equipment
00050473	MARKET STREET 32328882	\$42.78	
00050493	HILTON HOTELS GASLAMP	\$503.76	
00050520	HIMALAYAN DINE INN	\$64.73	
00050527	CANDELAS ON THE BAY	\$54.40	
00050425	MANCHU WOK	\$19.91	
00050448	1919 SAN DIEGO	\$76.80	
00050363	DELTA 0068226250446	\$25.00	
00049043	UNITED 01623173335022	\$729.70	
00050537	STARBUCKS STORE 23916	\$20.35	
00050507	GASLAMP UKT	\$84.02	
00050459	HARD ROCK SD MJS	\$107.72	
00050886	PUG RYAN S	\$26.73	
00050833	DAM BREWING COMPANY, D	\$13.45	
00050822	DAM BREWING COMPANY, D	\$17.62	
00051150	COMFORT SUITES	\$412.85	
00051123	COMFORT SUITES	\$422.78	
00051122	COMFORT SUITES	\$422.78	
00050488	HILTON HOTELS GASLAMP	\$503.76	
00050502	DELTA 0068291211178	\$25.00	
00051050	FEDEXOFFICE 00009423	\$736.20	
00051023	COTTAGE CAFE	\$124.50	
00051005	WHICH WICH #314	\$20.98	
00050837	CORNER STORE 4545	\$1.29	
00050917	HACIENDA REAL	\$20.44	
00050478	HILTON HOTELS GASLAMP	\$503.76	
00050803	DAM BREWING COMPANY, D	\$21.05	
00050503	HILTON HOTELS GASLAMP	\$503.76	
00050509	STARBUCKS STORE 23916	\$19.65	
00050244	SUPERSHUTTLE EXECUCARS	\$48.00	
00051022	WHICH WICH #314	\$10.75	
00050350	CAFE RIO SLC AIRPORT	\$12.06	
00050242	SUPERSHUTTLE EXECUCARS	\$10.00	
00050200	SUPERSHUTTLE EXECUCARS	\$36.00	
00048553	DELTA 00623549897390	\$423.70	
00048551	DELTA 00623549897401	\$423.70	
00050973	RED MOUNTAIN GRILL	\$31.00	
00051120	EXXONMOBIL 45947843	\$18.98	
00050970	RED MOUNTAIN GRILL	\$26.60	
00051218	FEDEXOFFICE 00009423	\$27.13	
00050922	HACIENDA REAL	\$24.35	
00050887	PUG RYAN S	\$33.06	
00051163	DOMINO'S 6042	\$75.53	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050800	DAM BREWING COMPANY, D	\$17.45	
00050865	PUG RYAN S	\$27.89	
00051018	WHICH WICH #314	\$11.82	
00051013	WHICH WICH #314	\$10.75	
00051011	KEYSTONE BANQUETS	\$3.99	
00050986	DUNKIN #354320 Q	\$8.52	
00050896	PUG RYAN S	\$19.15	
00050962	HACIENDA REAL	\$16.96	
00050953	RED MOUNTAIN GRILL	\$27.25	
00050933	HACIENDA REAL	\$22.35	
00050871	RIDLEY'S 1132	\$25.74	
00050880	DUNKIN #354320 Q	\$10.75	
00050982	RED MOUNTAIN GRILL	\$31.00	
		\$6,960.25	Subtotal for Dept. Police Grants
00050697	NATRONA CNTY WY CLERK	\$15.00	
00051295	JOESCRBSHK-SA RIVWALK	\$44.50	
00051287	SQ SQ FANTASTIC TAXI	\$28.82	
00051210	LANDRYS SA DOWNTOWN	\$26.06	
00051147	YELLOW CAB SAN ANTONIO	\$32.97	
00051164	SQUATTERS AIRPORT	\$20.22	
00051385	ROSARIO S MEXI20308565	\$15.44	
00050885	MICHAELSFENCE&SUPPLYIN	\$127.39	
00050565	URGENT CARE OF CASPER	\$447.00	
00049959	NETWORK FLEET. INC.	\$360.05	
		\$1,117.45	Subtotal for Dept. Property & Liability Insurance
00050615	AMAZON MKTPLACE PMTS	\$28.12	
00050615	AMAZON MKTPLACE PMTS	\$26.25	
00051366	SAMS	\$7.82	
00051366	SAMS	\$39.35	
00051366	SAMS CLUB #6425	\$75.78	
00050587	AMAZON MKTPLACE PMTS	\$18.96	
00050657	S&S WORLDWIDE-ONLINE	\$114.97	
00050987	ATLAS	\$17.74	
00050987	ATLAS OFFICE PRODUCTS	\$23.36	
00050684	ALBERTSONS STO00000620	\$37.82	
00050698	DOLLAR TREE	\$33.00	
00050590	RIDLEY'S 1132	\$34.95	
00050821	SAMSLUB #6425	\$579.59	
00050824	DOMINO'S 6042	\$48.93	
00050788	WAL-MART #1617	\$24.21	
00050862	DOLLAR TREE	\$8.00	
		\$1,118.85	Subtotal for Dept. Recreation
00051010	CASPER TIRE 0000705	\$32.50	
00050753	CMI-TECO	\$884.88	
00050752	CMI-TECO	\$740.08	
00050751	CASPER TIRE 0000705	\$136.00	
00050750	CMI-TECO	\$778.05	
00050714	CMI-TECO	\$1,231.65	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050746	CMI-TECO	\$915.29	
00050741	CMI-TECO	\$637.45	
00050740	CMI-TECO	\$683.03	
00050737	CMI-TECO	\$90.00	
00050766	WYOMING STEEL AND RECY	\$5,869.20	
00050647	MENARDS CASPER WY	\$39.98	
00050760	CASPER TIRE 0000705	\$32.50	
00051042	MICHAELSFENCE&SUPPLYIN	\$5.40	
00051053	SUTHERLANDS 2219	\$163.20	
00050802	CASPER TIRE 0000705	\$42.50	
00051058	CONOCO - HOMAX OIL SAL	\$474.30	
00050729	CMI-TECO	\$597.55	
00051096	CMI-TECO	\$68.62	
00050725	CMI-TECO	\$263.93	
00050709	CMI-TECO	\$1,078.40	
00050620	MENARDS CASPER WY	\$28.03	
00051178	BAILEYS ACE HDWE	\$19.98	
00050720	CMI-TECO	\$6,879.41	
00050723	CMI-TECO	\$254.11	
00050748	CMI-TECO	\$845.62	
00051083	BAILEYS ACE HDWE	\$102.78	
00050769	CASPER TIRE 0000705	\$42.50	
00050744	CMI-TECO	\$1,219.31	
00050767	CMI-TECO	\$1,203.07	
00050934	IN C & C SUPPLY DBA N	\$26.26	
00050828	CASPER TIRE 0000705	\$67.50	
00051253	CASPER TIRE 0000705	\$32.50	
00049959	NETWORK FLEET. INC.	\$492.70	
00050776	CMI-TECO	\$927.15	
00050907	CMI-TECO	\$157.61	
00050934	IN C & C SUPPLY DBA N	\$26.25	
00050812	WM SUPERCENTER #1617	\$55.76	
00051006	MICHAELSFENCE&SUPPLYIN	\$56.84	
00051213	MENARDS CASPER WY	\$26.96	
00050997	CASPER TIRE 0000705	\$237.50	
		\$27,466.35	Subtotal for Dept. Refuse Collection
00050638	BAILEYS ACE HDWE	\$8.94	
00050797	NORCO INC	\$62.98	
00050494	BRECK MEDIA GROUP WY	\$500.00	
00051138	SUTHERLANDS 2219	\$30.50	
00050692	IN PEDENS INC.	\$18.00	
00049959	NETWORK FLEET. INC.	\$37.90	
00050693	PURVIS INDUSTRIES 67	\$215.96	
00050605	MOUNTAIN STATES LITHOG	\$558.50	
00050567	TOWNSQ MEDIA CASPER	\$470.00	
00050481	CASPER STAR TRIBUNE	\$603.08	
		\$2,505.86	Subtotal for Dept. Sewer
00050708	PAY BY PHONE PAYMENT - Credit	(\$219.10)	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00050283	GOGOAIR.COM	\$32.00	
00050267	DELTA 00623593318736	\$653.70	
00050236	TRAVEL INSURANCE POLIC	\$74.38	
00050282	DELTA 00623599061046	\$646.70	
00051156	EMBASSY SUITES MNTGMRY	\$522.70	
00051148	ALAMO RENT-A-CAR	\$216.23	
00051142	STARBUCKS STORE 09809	\$10.34	
00050216	TRAVEL INSURANCE POLIC	\$45.64	
00050220	DELTA 00623592626215	\$716.70	
00051020	SMASHBURGER D432322083	\$11.08	
00051079	NOODLES & CO 704	\$8.61	
00051094	EMBASSY SUITES MNTGMRY	\$1,249.75	
00051051	PANERA BREAD #791	\$20.61	
00051043	RED ROBIN NO 556	\$61.27	
00050205	DELTA 00623599061061	\$646.70	
00051317	DICK'S SPORTING GOODS	\$1,344.75	
00050209	DELTA 0060179365910	\$12.00	
00050937	DELTA 0068291797933	\$25.00	
00051101	DELTA 0068227663119	\$25.00	
00051129	QDOBA #67	\$14.13	
00051134	STARBUCKS STORE 09809	\$21.23	
00050243	DELTA 0060179365911	\$12.00	
00051137	MONTGOMERY MUGGS	\$9.90	
00050287	TRAVEL INSURANCE POLIC	\$43.08	
		\$6,204.40	Subtotal for Dept. Social Community Services
00049973	WW GRAINGER	\$11.24	
00051303	ALSCO INC.	\$665.04	
00050539	STAPLES DIRECT	\$89.24	
00051340	WAGNER'S OUTDOOR OUTFI	\$417.42	
00050804	FLINT TRADING, INC.	\$1,570.01	
00049959	NETWORK FLEET. INC.	\$568.50	
00050829	SIGNS POST SAVERS	\$594.00	
00050915	CASPER STAR TRIBUNE	\$207.16	
00050771	WAGNER'S OUTDOOR OUTFI	\$10.62	
00051036	STAPLES DIRECT - Credit	(\$4.25)	
00050974	WAGNER'S OUTDOOR OUTFI	\$7.38	
00050768	THE HOME DEPOT #6001	\$6.02	
00051059	BAILEYS ACE HDWE	\$0.96	
00050433	CASPER CONTRACTORS SUP	\$383.49	
00050403	CASPER CONTRACTORS SUP	\$225.05	
		\$4,751.88	Subtotal for Dept. Streets
00051255	CASPER CONTRACTORS SUP	\$335.22	
00051227	WW GRAINGER	\$184.88	
00051209	WW GRAINGER	\$125.40	
00051203	HONNEN EQUIPMENT 04	\$3,862.92	
00050733	LOU'S GLOVES INC	\$415.00	
00050581	PARTMASTER	\$265.14	
00050702	PP WYOMINGWATE	\$1,050.00	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00051141	BAILEYS ACE HDWE	\$5.38	
00049693	DOMINO'S 6041	\$50.92	
00050678	ENERGY LABORATORIES, I	\$42.00	
00050868	COASTAL CHEMICAL CO LL	\$236.80	
00050941	ENERGY LABORATORIES, I	\$229.00	
00050940	ENERGY LABORATORIES, I	\$229.00	
00051093	WEAR PARTS INC	\$27.90	
00051118	WW GRAINGER	\$64.80	
00051214	WW GRAINGER	\$177.16	
00050905	RESPOND FIRST AID OF W	\$138.38	
00050925	ENERGY LABORATORIES, I	\$242.00	
00051048	NORCO INC	\$26.95	
00050919	NORCO INC	\$25.00	
00050682	ENVIRONMENTAL EXPRESS	\$129.78	
		\$7,863.63	Subtotal for Dept. Waste Water
00051045	HARBOR FREIGHT TOOLS 3	\$15.92	
00050966	WATERWORKS INDUSTRIES	\$262.79	
00051026	HACH COMPANY	\$722.52	
00050480	FINISH LINE SYSTEMS LL	\$6,979.50	
00050774	CASPER CONTRACTORS SUP	\$70.25	
00050761	NOLAND FEED INC.	\$51.20	
00050758	WW GRAINGER	\$456.49	
00050739	FINISH LINE SYSTEMS LL	\$564.63	
00050699	ENERGY LABORATORIES, I	\$660.00	
00050671	UNION WIRELESS	\$130.16	
00050794	DANA KEPNER CO.	\$93.55	
00049959	NETWORK FLEET. INC.	\$170.55	
00051047	ENERGY LABORATORIES, I	\$257.00	
00051055	USPS PO 5715580945	\$16.19	
00051091	CONOCO - HOMAX OIL SAL	\$30.50	
00051173	ENERGY LABORATORIES, I	\$340.00	
00051100	ENERGY LABORATORIES, I	\$50.00	
00051251	CASPER WINNELSON CO	\$7.20	
00051106	HACH COMPANY	\$238.45	
00051107	ENERGY LABORATORIES, I	\$20.00	
00051143	ENERGY LABORATORIES, I	\$25.00	
00051149	ENERGY LABORATORIES, I	\$60.00	
00051187	CASPER CONTRACTORS SUP	\$387.12	
00051193	HOSE & RUBBER SUPPLY I	\$438.57	
00051200	ENERGY LABORATORIES, I	\$50.00	
00051216	BEARING BELTCHAIN00244	\$31.19	
00051222	IN GREAT PLAINS CLEAN	\$73.20	
00051231	CPS DISTRIBUTORS INC C	\$31.52	
00051248	GEORGE T SANDERS 20	\$26.62	
00050935	CASPER STAR TRIBUNE	\$211.12	
		\$12,471.24	Subtotal for Dept. Water
00050994	RESPOND FIRST AID OF W	\$50.81	
00051084	SUTHERLANDS 2219	\$1.56	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

P-CARD VENDORS

00051183 INTERMOUNTAIN MOTOR SA	\$438.26	
00051192 UPS 0000008F045W446	\$33.06	
00050722 CASPER STAR TRIBUNE	\$43.54	
00051092 AWWA.ORG	\$196.00	
00050952 EUROFINS EATON ANALYTI - Credi	(\$180.00)	
00051001 ENERGY LABORATORIES	\$225.00	
00051280 XEROX CORPORATION/RBO	\$229.91	
00051300 ALSCO INC.	\$144.80	
00050705 WEAR PARTS INC	\$59.94	
00050654 USPS PO 5715580945	\$14.07	
00050651 NORCO INC	\$57.64	
00050648 ALBERTSONS STO00000604	\$44.40	
00050432 EUROFINS EATON ANALYTI	\$180.00	
	\$1,538.99	Subtotal for Dept. Water Treatment Plant
00051102 HOMEDEPOT.COM	\$349.00	
00050650 SQ SQ WYATT ELECTRIC - Credi	(\$1,175.90)	
00050667 DULTMEIER SALES LLC	\$175.47	
00051132 THE HOME DEPOT #6001	\$31.71	
00050670 SQ SQ WYATT ELECTRIC	\$1,175.90	
00050703 CPS DISTRIBUTORS INC C	\$339.08	
00050465 CPS DISTRIBUTORS INC C	\$1,362.50	
	\$2,257.76	Subtotal for Dept. Weed And Pest
	\$231,050.26	Subtotal for Vendor

PETER NIPER

SC3189865 TRAINING REIMBURSEMENT	\$98.00	
	\$98.00	Subtotal for Dept. Water Treatment Plant
	\$98.00	Subtotal for Vendor

PETROLEUM TESTERS, LLC

2016 OPERATOR TRAINING	\$200.00	
	\$200.00	Subtotal for Dept. Balefill
	\$200.00	Subtotal for Vendor

POSTAL PROS, INC.

3018 UTILITY BILL FEES	\$283.62	
3017 UTILITY BILL FEES	\$2,786.79	
	\$3,070.41	Subtotal for Dept. Finance
	\$3,070.41	Subtotal for Vendor

POWDER RIVER CONSTRUCTION INC

3 SCHOOL WALKABILITY PROJECT	\$8,600.00	
3 SCHOOL WALKABILITY PROJECT	\$34,400.00	
	\$43,000.00	Subtotal for Dept. Streets
	\$43,000.00	Subtotal for Vendor

PRINTWORKS

11134 BUILDING PERMIT APPLICATIONS	\$325.29	
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Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

PRINTWORKS

11141 BUSINESS CARDS	\$69.06	
	\$394.35	Subtotal for Dept. Code Enforcement
11146 THANK YOU CARDS	\$94.38	
	\$94.38	Subtotal for Dept. Planning
	\$488.73	Subtotal for Vendor

RAY, DEVIN

0027552526 UTILITY REFUND	\$38.82	
	\$38.82	Subtotal for Dept. Water
	\$38.82	Subtotal for Vendor

ROBLES, JOSE

0027552533 UTILITY REFUND	\$19.38	
	\$19.38	Subtotal for Dept. Water
	\$19.38	Subtotal for Vendor

ROCKY MOUNTAIN POWER

AP00014911041623 ELECTRICITY	\$4,860.17	
	\$4,860.17	Subtotal for Dept. Aquatics
AP00015011041623 ELECTRICITY	\$189.15	
	\$189.15	Subtotal for Dept. Cemetery
AP00015111041623 ELECTRICITY	\$704.59	
AP00015111041623 ELECTRICITY	\$33.91	
AP00015111041623 ELECTRICITY	\$495.03	
AP00015111041623 ELECTRICITY	\$4,186.39	
	\$5,419.92	Subtotal for Dept. City Hall
AP00015511041623 ELECTRICITY	\$2,636.41	
	\$2,636.41	Subtotal for Dept. Fire
AP00015411041623 ELECTRICITY	\$3,324.48	
	\$3,324.48	Subtotal for Dept. Fleet Maintenance
AP00015611041623 ELECTRICITY	\$816.22	
	\$816.22	Subtotal for Dept. Fort Caspar
AP00015711041623 ELECTRICITY	\$3,440.65	
	\$3,440.65	Subtotal for Dept. Golf Course
AP00015811041623 ELECTRICITY	\$3,029.84	
	\$3,029.84	Subtotal for Dept. Hogadon
AP00015911041623 ELECTRICITY	\$5,073.03	
	\$5,073.03	Subtotal for Dept. Ice Arena
AP00016011041623 ELECTRICITY	\$1,042.96	
	\$1,042.96	Subtotal for Dept. Metro Animal
AP00018011041623 ELECTRICITY	\$3,102.40	
AP00016111041623 ELECTRICITY	\$3,066.76	
	\$6,169.16	Subtotal for Dept. Parks
AP00016211041623 ELECTRICITY	\$284.07	
	\$284.07	Subtotal for Dept. Police
AP00015211041623 ELECTRICITY	\$3,970.33	

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

ROCKY MOUNTAIN POWER

	\$3,970.33	Subtotal for Dept.	Recreation
AP00016311041623 ELECTRICITY	\$429.74		
	\$429.74	Subtotal for Dept.	Sewer
AP00016411041623 ELECTRICITY	\$46,860.09		
	\$46,860.09	Subtotal for Dept.	Streets
AP00016611041623 ELECTRICITY	\$29,905.53		
	\$29,905.53	Subtotal for Dept.	Waste Water
AP00016511041623 ELECTRICITY	\$28,868.81		
	\$28,868.81	Subtotal for Dept.	Water
	\$146,320.56	Subtotal for Vendor	

RS BENNETT CONSTRUCTION CO

RIN0027206 METER USAGE WEST BELT LOOP	\$11,801.27		
	\$11,801.27	Subtotal for Dept.	Water
	\$11,801.27	Subtotal for Vendor	

SCHWARTZ, BON, WALKER, & STUDER, LLC.

6662 LEGAL SERVICES	\$5,148.00		
	\$5,148.00	Subtotal for Dept.	Property & Liability Insurance
	\$5,148.00	Subtotal for Vendor	

SCS AQUATERRA

RIN0027188 RETAINAGE	(\$34,902.85)		
RIN0027188 GAS COLLECTION & CONTAINMENT	\$349,028.58		
	\$314,125.73	Subtotal for Dept.	Balefill
	\$314,125.73	Subtotal for Vendor	

SENIOR PATIENT ADVOCATES

2016-0516 SERVICES	\$2,250.00		
2016-0500 SERVICES	\$1,537.50		
	\$3,787.50	Subtotal for Dept.	Health Insurance
	\$3,787.50	Subtotal for Vendor	

SHANE BRAUCHIE

RIN0027181 TRAINING REIMBURSEMENT	\$98.00		
	\$98.00	Subtotal for Dept.	Waste Water
	\$98.00	Subtotal for Vendor	

SMALL, THERESA

0027552536 UTILITY REFUND	\$40.38		
	\$40.38	Subtotal for Dept.	Water
	\$40.38	Subtotal for Vendor	

STAR LINE FEEDS

241485 PET FOOD	\$521.20		
241378 PET FOOD	\$509.25		
	\$1,030.45	Subtotal for Dept.	Metro Animal

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

STAR LINE FEEDS

\$1,030.45 Subtotal for Vendor

STATE OF WY.

RIN0027194 UNCLAIMED PROPERTY

\$2,723.69

\$2,723.69 Subtotal for Dept. General - Finance

\$2,723.69 Subtotal for Vendor

STATE OF WY. - DEPT. OF REVENUE

OCTOBER 2016 SALES TAX OCTOBER 2016

\$17.69

OCTOBER 2016 SALES TAX OCTOBER 2016

\$49.15

\$66.84 Subtotal for Dept. Aquatics

OCTOBER 2016 SALES TAX OCTOBER 2016

\$100.60

\$100.60 Subtotal for Dept. Balefill

OCTOBER 2016 SALES TAX OCTOBER 2016

\$290.40

\$290.40 Subtotal for Dept. Fort Caspar

OCTOBER 2016 SALES TAX OCTOBER 2016

\$428.34

\$428.34 Subtotal for Dept. Ice Arena

OCTOBER 2016 SALES TAX OCTOBER 2016

\$1.98

\$1.98 Subtotal for Dept. Recreation

\$888.16 Subtotal for Vendor

STATE OF WY. - OFFICE OF STATE LANDS & INVEST

RIN0027193 DWSRF#27 INTEREST

\$172,263.50

RIN0027193 DWSRF#27 PRINCIPAL

\$501,281.35

\$673,544.85 Subtotal for Dept. Waste Water

\$673,544.85 Subtotal for Vendor

STEALTH PARTNER GROUP

RIN0027159 STOP LOSS INSURANCE

\$57,107.88

\$57,107.88 Subtotal for Dept. Health Insurance

\$57,107.88 Subtotal for Vendor

SUMMIT ROOFING INC.

122888 RE-ROOF FORMER MILOS TOYOTA

\$2,625.00

\$2,625.00 Subtotal for Dept. Planning

\$2,625.00 Subtotal for Vendor

THE ARC OF NATRONA COUNTY

RIN0027170 FUNDING

\$12,500.00

\$12,500.00 Subtotal for Dept. One Cent #15

\$12,500.00 Subtotal for Vendor

TRAFFIC SAFETY SERVICES, INC

0993 RETAINAGE RELEASE

\$11,521.75

\$11,521.75 Subtotal for Dept. Capital Projects - Engineering

\$11,521.75 Subtotal for Vendor

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

TRAYLOR, DON

0027552534 UTILITY REFUND

\$124.72
\$124.72 Subtotal for Dept. Water
\$124.72 Subtotal for Vendor

TRIHYRO CORP.

0113221 RUSSIAN OLIVE MONITORING NORTH
0113221 RUSSIAN OLIVE MONITORING NORTH
0113221 RUSSIAN OLIVE MONITORING NORTH
RIN0027164 PLATTE RIVER
0113221 RUSSIAN OLIVE MONITORING NORTH
0113221 RUSSIAN OLIVE MONITORING NORTH

\$2,099.66
\$2,099.63
\$2,099.63
\$3,609.97
\$2,099.63
\$2,099.63
\$14,108.15 Subtotal for Dept. Refuse Collection
\$14,108.15 Subtotal for Vendor

URGENT CARE OF CASPER LLC.

784 REVISED 9 PRE HIRE MEDICAL TESTING

\$135.00
\$135.00 Subtotal for Dept. Communications Center
\$135.00 Subtotal for Vendor

VENTURE TECHNOLOGIES/ISC, INC.

SIN017398 HP BLC7000 BLADE MAINTENANCE

\$1,212.00
\$1,212.00 Subtotal for Dept. Information Services
\$1,212.00 Subtotal for Vendor

VISION SVC. PLAN

RIN0027155 BENEFITS PAYABLE
RIN0027154 BENEFITS PAYABLE

\$47.70
\$1,613.00
\$1,660.70 Subtotal for Dept. Health Insurance
\$1,660.70 Subtotal for Vendor

VISITS LLC

3772 CAR WASH

\$5.00
\$5.00 Subtotal for Dept. Code Enforcement
\$5.00 Subtotal for Vendor

WADSWORTH CONSTRUCTION

RIN0027205 METER USAGE WEST BELT LOOP

\$6,359.15
\$6,359.15 Subtotal for Dept. Water
\$6,359.15 Subtotal for Vendor

WALKIN, LISA

0027509051 UTILITY REFUND

\$24.86
\$24.86 Subtotal for Dept. Water
\$24.86 Subtotal for Vendor

WARDWELL WATER & SEWER DISTRICT

RIN0027184 BOOSTER IRRIGATION

\$72.94
\$72.94 Subtotal for Dept. Water Treatment Plant

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

WARDWELL WATER & SEWER DISTRICT

\$72.94 Subtotal for Vendor

WASTE WATER TREATMENT

1276/145265 201 SEWER

\$245,174.42

\$245,174.42 Subtotal for Dept. Sewer

\$245,174.42 Subtotal for Vendor

WESTCOAST ROTOR, INC.

25507 MOYNO PUMP ROTOR REFURBISH

\$2,570.30

\$2,570.30 Subtotal for Dept. Waste Water

\$2,570.30 Subtotal for Vendor

WESTERN BUSINESS SOLUTIONS

7879 SUPPLIES

\$88.71

\$88.71 Subtotal for Dept. Fort Caspar

\$88.71 Subtotal for Vendor

WESTERN WATER CONSULTANTS, INC.

160580007 K STREET IMPROVEMENTS

\$4,165.50

\$4,165.50 Subtotal for Dept. Streets

\$4,165.50 Subtotal for Vendor

WILLIAMS, PORTER, DAY & NEVILLE, P.C.

73562 LEGAL SERVICES

\$259.00

\$259.00 Subtotal for Dept. Property & Liability Insurance

\$259.00 Subtotal for Vendor

WY. ASSOC. OF MUNICIPALITIES

15157 WAM FALL RETREAT

\$100.00

\$100.00 Subtotal for Dept. City Manager

\$100.00 Subtotal for Vendor

WY. DEPT. OF TRANSPORTATION

0000084129 CY AVE & POPLAR ST LANDSCAPING

\$1,003.93

\$1,003.93 Subtotal for Dept. Parks

0000084072 BRYAN STOCK TRAIL

\$4,335.63

\$4,335.63 Subtotal for Dept. Streets

\$5,339.56 Subtotal for Vendor

WY. MACHINERY CO.

S1627901 CATERPILLAR 950M FRONT END LOA

\$311,639.00

\$311,639.00 Subtotal for Dept. Balefill

\$311,639.00 Subtotal for Vendor

Bills and Claims

City of Casper

02-Nov-16 to 15-Nov-16

Grand Total **\$5,143,835.64**

Approved By:

On:

November 7, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Liz Becher, Community Development Director 

SUBJECT: Public hearing for consideration of a zone change of Lot 1, of Lots 1 through 10 of "Eastward Heights III," located at 2300 East 15th Street, from R-4 (High Density Residential) to C-2 (General Business).

Recommendation:

That Council, by ordinance, approve a zone change of Lot 1, of Lots 1 through 10 of "Eastward Heights III," located at 2300 East 15th Street, from R-4 (High Density Residential) to C-2 (General Business).

Summary:

Prince of Peace Lutheran Church of Casper has requested a zone change of their property located at 2300 East 15th Street, from R-4 (High Density Residential) to C-2 (General Business). The property is located at the northeast corner of South Beyerly and East 15th Streets, is approximately five (5) acres in size, and is surrounded by properties zoned R-4 (High Density Residential) on all sides, with the exception of several smaller properties zoned C-1 (Neighborhood Convenience) and C-2 (General Business) immediately to the north. Land uses in the area are a mix of commercial and multifamily residential. Churches are listed as permitted uses in both the R-4 (High Density Residential) and C-2 (General Business) zoning districts.

The reason for the requested zone change of the property is to allow adequate signage for the church. Under the current R-4 (High Density Residential) zoning of the property, the church is permitted to have one (1) identification sign, not to exceed one hundred (100) square feet, pursuant to Section 17.96.030(C)(2) of the Municipal Code. The church has expressed that, given the large size of the site, with multiple public street frontages, the limitation of only one (1) sign, in conjunction with allowing only one hundred (100) square feet of signage, is too restrictive. Under C-2 (General Business) zoning, the allowable signage would be six hundred (600) square feet, total, on-site, and could consist of multiple signs, both building-mounted and freestanding.

Two options are available to the applicant to accommodate their desire for additional signage. The first option would be to apply for an exception/variance. This option is not favored by Staff because of the difficulty in meeting the necessary findings for the approval of an exception/variance; in particular, there is no hardship that denies them of

the use of the property. The second option is to apply for a zone change of the property to a zoning classification with more liberal signage allowances.

The Future Land Use Concept Map element of the current Comprehensive Land Use Plan shows the desired future land use classification of the subject property to be “Multi-Family.” Areas designated as “Multi-Family” are for apartments, condominiums, and similar higher density types of dwelling units to meet area wide demand for this type of housing. A rezoning of the property to C-2 (General Business) would not necessarily preclude multi-family residential from being constructed on the property in the future, as multi-family residential is a listed permitted use in the C-2 (General Business) zone, but a C-2 (General Business) zoning would allow for a variety of commercial uses not allowed in a Multi-Family zoning district.

The proposed C-2 (General Business) zoning district allows for the development of any and all of the following permitted uses:

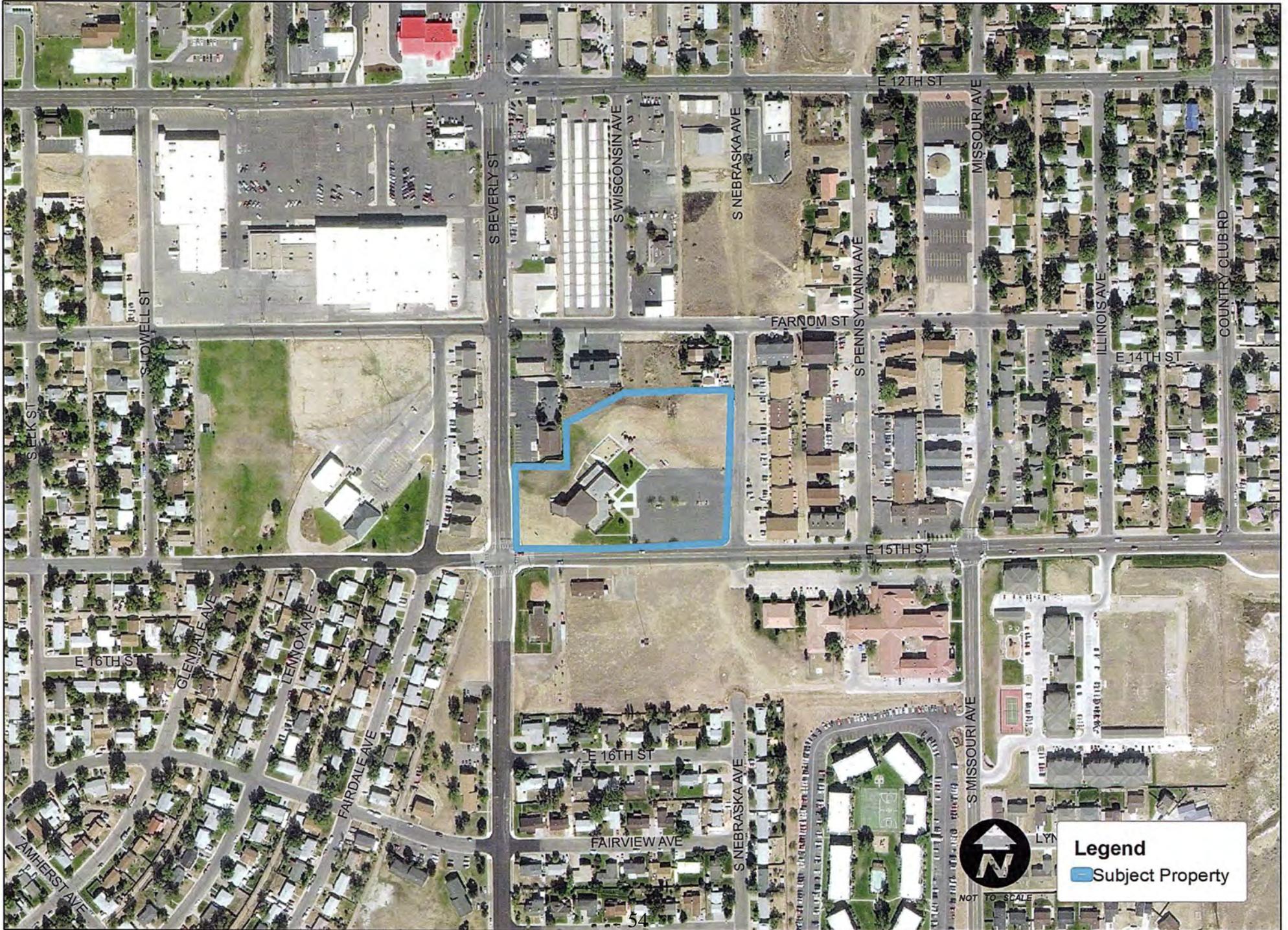
- A. Animal clinics and animal treatment centers;
- B. Apartments located within a business structure;
- C. Arcades/amusement centers;
- D. Assisted living;
- E. Automobile park, sales area or service center;
- F. Automobile service stations;
- G. Banks, savings and loans, and finance companies;
- H. Bars, taverns, retail liquor stores, and cocktail lounges;
- I. Bed and breakfast;
- J. Bed and breakfast homestay;
- K. Bed and breakfast inn;
- L. Business, general retail;
- M. Chapels and mortuaries;
- N. Churches;**
- O. Clubs or lodges;
- P. Convenience establishment, medium volume;
- Q. Dance studios;
- R. Day care, adult;
- S. Child care center;
- T. Family child care center - zoning review;
- U. Family child care home;
- V. Family child care home - zoning review;
- W. Electrical, television, radio repair shops;
- X. Grocery stores;
- Y. Group homes;
- Z. Homes for the homeless (emergency shelters);

- AA. Hotels, motels;
- BB. Neighborhood groceries;
- CC. Offices, general and professional;
- DD. Pet shops;
- EE. Medical laboratories, clinics, health spas, rehabilitation centers, real estate brokers, insurance agents;
- FF. Parking garages and/or lots;
- GG. Parks, playgrounds, historical sites, golf courses, and other similar recreational facilities;
- HH. Pawn shops;
- II. Personal service shops;
- JJ. Pharmacies;
- KK. Printing and newspaper houses;
- LL. Reception centers;
- MM. Recreation centers;
- NN. Restaurants, cafes, and coffee shops;
- OO. Retail business;
- PP. Sundry shops and specialty shops;
- QQ. Theaters, auditoriums, and other places of indoor assembly;
- RR. Thrift shops;
- SS. Vocational centers, medical and professional institutions;
- TT. Neighborhood assembly uses;
- UU. Regional assembly uses;
- VV. Branch community facilities;
- WW. Neighborhood grocery;
- XX. Conventional site-built and modular single and multifamily dwellings and "manufactured homes" meeting the definition and standards set forth in Section 17.08.010.

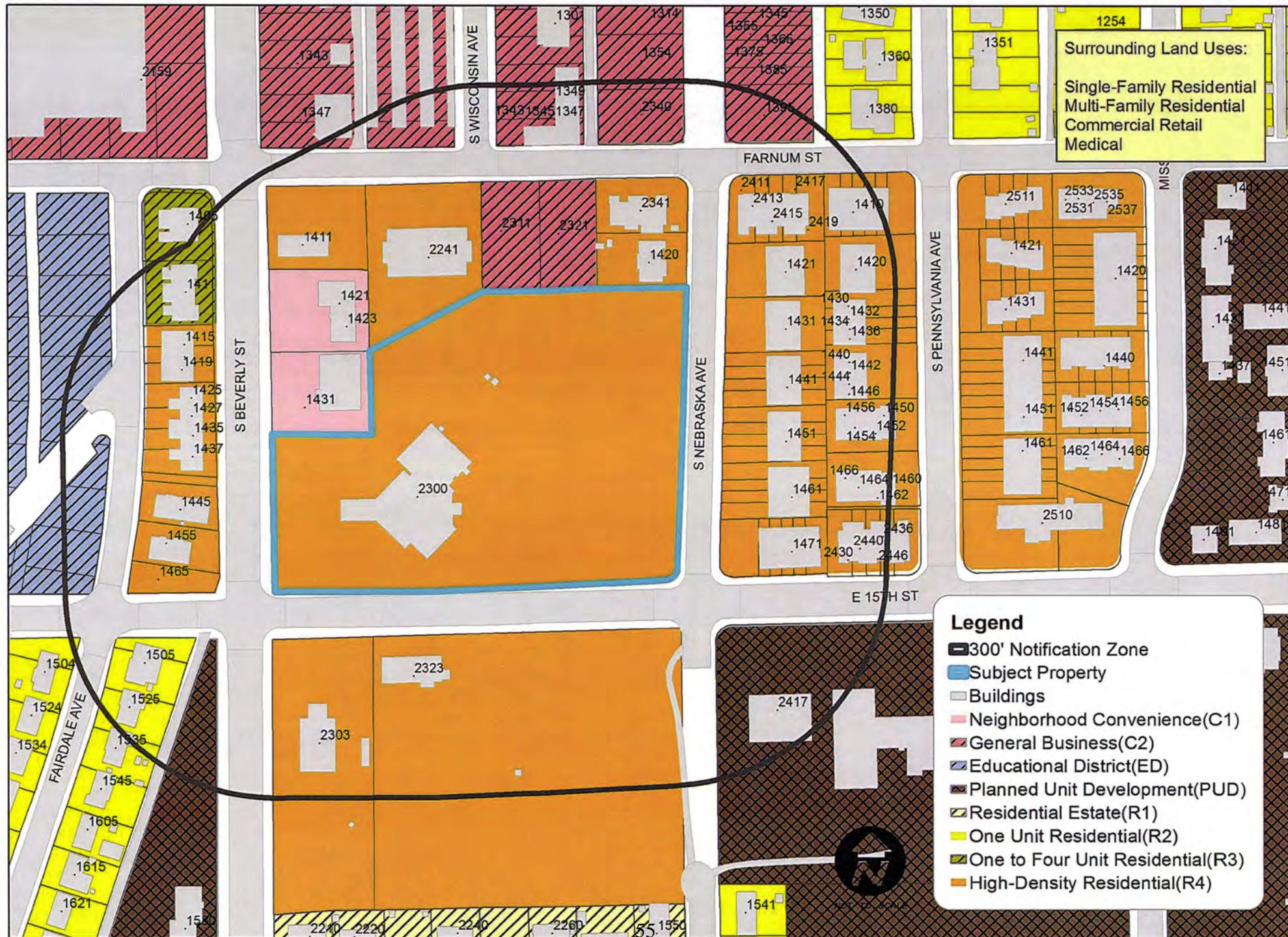
The Planning and Zoning Commission recommended approval of the requested zone change after a public hearing on October 20, 2016. There were no public comments received.

An ordinance has been provided for the Council's consideration.

Prince of Peace Lutheran Church



Prince of Peace Lutheran Church



ORDINANCE NO. 14-16

AN ORDINANCE APPROVING A ZONE CHANGE LOT 1, OF LOTS 1 THROUGH 10 OF "EASTWARD HEIGHTS III," LOCATED AT 2300 EAST 15TH STREET, IN THE CITY OF CASPER, WYOMING.

WHEREAS, an application has been made to rezone the above described lot from zoning classification R-4 (High Density Residential) to C-2 (General Business); and,

WHEREAS, after a public hearing on October 20, 2016, the City of Casper Planning and Zoning Commission passed a motion recommending that City Council approve the zone change request; and,

WHEREAS, the governing body of the City of Casper finds that the above described zone change should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING:

SECTION 1:

Lot 1, of Lots 1 through 10 of "Eastward Heights III," located at 2300 East 15th Street, is hereby rezoned from zoning classification R-4 (High Density Residential) to C-2 (General Business).

SECTION 2:

This ordinance shall be in full force and effect from and after passage on three readings and publication pursuant to law.

PASSED on 1st reading the ____ day of _____, 2016.

PASSED on 2nd reading the ____ day of _____, 2016.

PASSED, APPROVED, AND ADOPTED on 3rd and final reading the day of _____, 2016.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

(Ordinance Approving a Zone Change of Lot 1, of Lots 1 Through 10 of “Eastward Heights III,”
Located at 2300 East 15th Street, in the City of Casper, Wyoming)

November 7, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Liz Becher, Community Development Director 

SUBJECT: Public hearing for consideration of a zone change of North Casper Addition, Block 22, Lot 199-200 & TR ADJ 200, located at 702 North Jefferson Street, from R-3 (One to Four Unit Residential) to C-2 (General Business).

Recommendation:

That Council, by ordinance, approve a zone change of North Casper Addition, Block 22, Lot 199-200 & TR ADJ 200, located at 702 North Jefferson Street, from R-3 (One to Four Unit Residential) to C-2 (General Business).

Summary:

Marilyn Davidson has applied for a zone change of the property located at 702 North Jefferson Street, from R-3 (One to Four Unit Residential) to C-2 (General Business). The subject property is located at the northwest corner of North Jefferson and East "F" Streets, is approximately 7,700 square feet in size, and is surrounded by properties zoned R-3 (One to Four Unit Residential) to the north and east; and C-2 (General Business) to the west. The purpose of the requested zone change is to convert the property to a boat sales and service business. The proposed use of the property for sales and service would be a permitted use under C-2 (General Business) zoning; however, storage is not. Prior to the conversion of the property to a sales and service business, the applicant will be required to submit a site plan to the City for review and approval.

The current Casper Area Comprehensive Land Use Plan is the planning document that describes the values and ideals expressed by the community for its future. Whenever a zone change is proposed, the City Council must base their decision on whether to approve the zone change on the criteria expressed in the Comprehensive Land Use Plan.

The Future Land Use Plan (page 121 of the Casper Area Comprehensive Plan) is the map element of the Comprehensive Land Use Plan that visibly depicts the City's policy regarding future zoning and land use patterns. In this case, the Future Land Use Plan element of the 2000 Casper Area Comprehensive Land Use Plan identifies this area to be appropriately zoned as "General Commercial."

The proposed C-2 (General Business) zoning district allows for the development of any and all of the following permitted uses:

- A. Animal clinics and animal treatment centers;
- B. Apartments located within a business structure;
- C. Arcades/amusement centers;
- D. Assisted living;
- E. Automobile park, sales area or service center;**
- F. Automobile service stations;**
- G. Banks, savings and loans, and finance companies;
- H. Bars, taverns, retail liquor stores, and cocktail lounges;
- I. Bed and breakfast;
- J. Bed and breakfast homestay;
- K. Bed and breakfast inn;
- L. Business, general retail;
- M. Chapels and mortuaries;
- N. Churches;
- O. Clubs or lodges;
- P. Convenience establishment, medium volume;
- Q. Dance studios;
- R. Day care, adult;
- S. Child care center;
- T. Family child care center - zoning review;
- U. Family child care home;
- V. Family child care home - zoning review;
- W. Electrical, television, radio repair shops;
- X. Grocery stores;
- Y. Group homes;
- Z. Homes for the homeless (emergency shelters);
- AA. Hotels, motels;
- BB. Neighborhood groceries;
- CC. Offices, general and professional;
- DD. Pet shops;
- EE. Medical laboratories, clinics, health spas, rehabilitation centers, real estate brokers, insurance agents;
- FF. Parking garages and/or lots;
- GG. Parks, playgrounds, historical sites, golf courses, and other similar recreational facilities;
- HH. Pawn shops;
- II. Personal service shops;
- JJ. Pharmacies;
- KK. Printing and newspaper houses;

- LL. Reception centers;
- MM. Recreation centers;
- NN. Restaurants, cafes, and coffee shops;
- OO. Retail business;
- PP. Sundry shops and specialty shops;
- QQ. Theaters, auditoriums, and other places of indoor assembly;
- RR. Thrift shops;
- SS. Vocational centers, medical and professional institutions;
- TT. Neighborhood assembly uses;
- UU. Regional assembly uses;
- VV. Branch community facilities;
- WW. Neighborhood grocery;
- XX. Conventional site-built and modular single and multifamily dwellings and "manufactured homes" meeting the definition and standards set forth in Section 17.08.010.

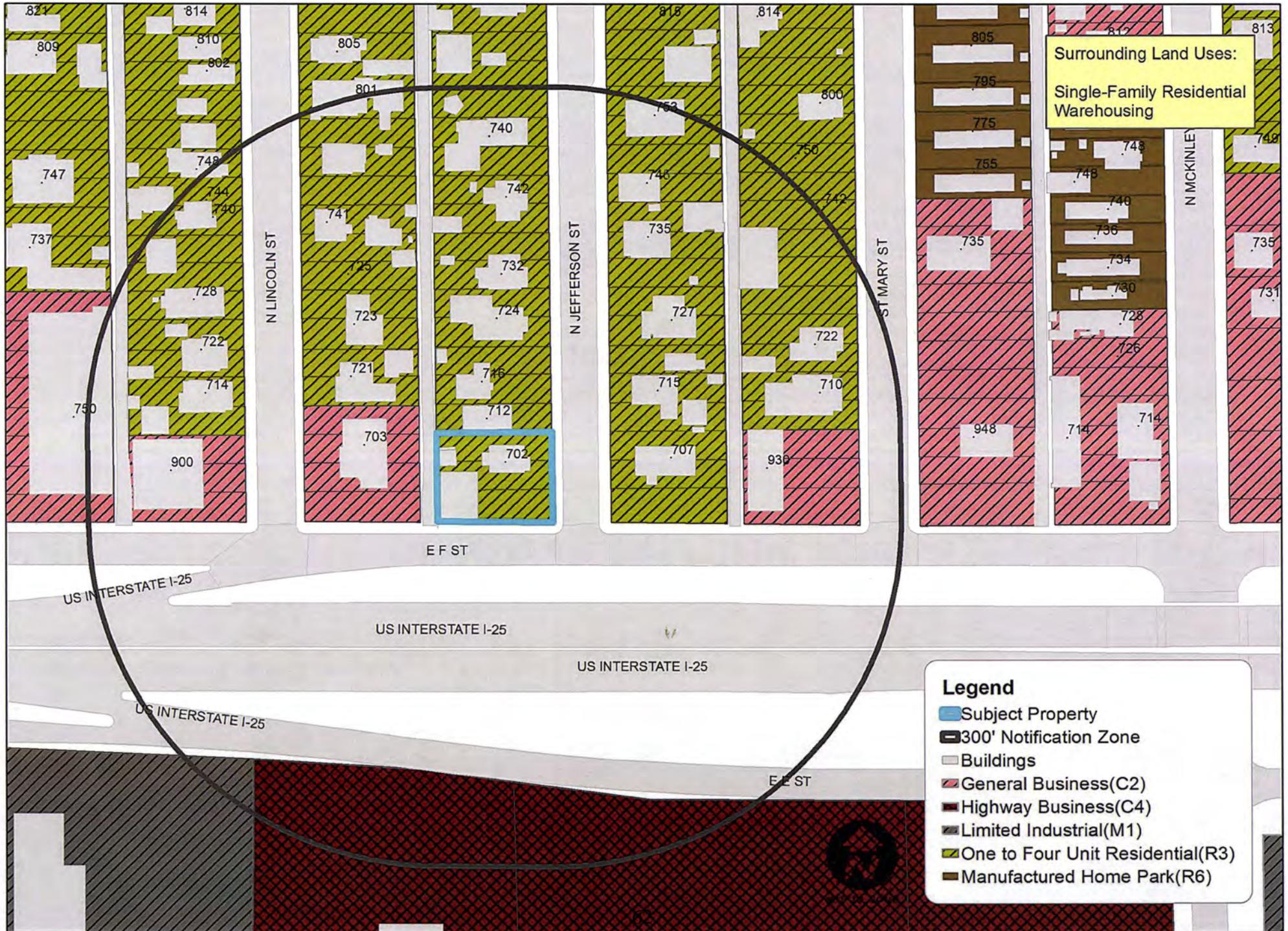
The Planning and Zoning Commission recommended approval of the requested zone change after a public hearing on October 20, 2016. There were no public comments received.

An ordinance has been provided for the Council's consideration.

702 N Jefferson



702 N Jefferson



ORDINANCE NO. 15-16

AN ORDINANCE APPROVING A ZONE CHANGE OF NORTH CASPER ADDITION, BLOCK 22, LOTS 199-200 & TR ADJ 200, LOCATED AT 702 NORTH JEFFERSON STREET, IN THE CITY OF CASPER, WYOMING.

WHEREAS, an application has been made to rezone all of the above described lots from zoning classification R-3 (One to Four Unit Residential) to C-2 (General Business); and,

WHEREAS, after a public hearing on October 20, 2016, the City of Casper Planning and Zoning Commission passed a motion recommending that City Council approve the zone change request; and,

WHEREAS, the governing body of the City of Casper finds that the above described zone change should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING:

SECTION 1:

North Casper Addition, Block 22, Lots 199-200 & TR ADJ 200, located at 702 North Jefferson Street, are hereby rezoned from zoning classification R-3 (One to Four Unit Residential) to C-2 (General Business).

SECTION 2:

This ordinance shall be in full force and effect from and after passage on three readings and publication pursuant to law.

PASSED on 1st reading the ____ day of _____, 2016.

PASSED on 2nd reading the ____ day of _____, 2016.

PASSED, APPROVED, AND ADOPTED on 3rd and final reading the day of _____, 2016.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

(Ordinance Approving a Zone Change of North Casper Addition, Block 22, Lots 199-200 & TR
ADJ 200, Located at 702 North Jefferson Street, in the City of Casper, Wyoming)

November 10, 2016

MEMO TO: V.H. McDonald, City Manager
FROM: Liz Becher, Community Development Director/Asst City Manager *LB*
SUBJECT: Authorizing the Filing of a Nuisance Abatement

Recommendation:

That Council, by resolution, authorize the filing of a nuisance abatement lien for \$2,485.33 against the property located at 1169 N Jackson Street, Casper, Wyoming, and owned by Mr. Val Aguilar.

Summary:

A Judgment was entered by the Municipal Court on July 1, 2016, that ordered the abatement of junk and illegal outside storage at 1169 N Jackson Street. On July 15th and 18th, 2016, City Staff and a Code Enforcement contractor (AAA Landscaping) abated the junk and illegal outside storage by removing it from the site. The debris included junk, building materials, bicycles, metal, furniture, household items, boards, trash and litter. Staff removed 8.80 tons of junk from the property. The amount of \$2,485.33 was billed to the property owner but not paid. A breakdown of the costs is as follows:

Solid Waste Department	\$ 418.62
Solid Waste Department	\$ 336.23
Solid Waste Department	\$32.90
Solid Waste Department	\$ 260.85
AAA Landscaping – Cleanup	\$1,400.00
Interest and Penalty	\$ <u>36.73</u>
TOTALS	\$2,485.33

A Nuisance Abatement Lien will provide the City the opportunity to recapture these costs if the property is sold.

A resolution authorizing the lien has been prepared for Council consideration.

November 7, 2016

MEMO TO: V.H. McDonald, City Manager
FROM: Tracey L. Belser, City Clerk
SUBJECT: Report of Forced Cleanup Costs

A Municipal Court ordered forced cleanup was initiated on July 15 and 18, 2016, on the property located at 1169 N Jackson Street, Casper, Wyoming, pursuant to Section 8.36.030 of the Casper Municipal Code. Pursuant to Section 8.36.060(C), the Community Development Department would like to lien said property for costs related to the forced cleanup. The following information is provided for your review:

Property Location:

1169 N Jackson Street
Casper, WY 82601

Legal Description:

Block 8, Lots 33 S 12 & 34-35 All
North Casper Addition to the
City of Casper, Natrona County, Wyoming

Itemized Total Costs:

AAA Landscaping	Labor	\$1,400.00
Casper Solid Waste Facility	Roll Off Charge	\$ 418.62
Casper Solid Waste Facility	Roll Off Charge	\$ 336.23
Casper Solid Waste Facility	Roll Off Charge	\$ 32.90
Casper Solid Waste Facility	Roll Off Charge	\$ 260.85
City of Casper Finance	Interest/Penalty	\$ 36.73
	Total Costs	\$2,485.33

Names & Address of All Persons Entitled to Notice Pursuant to Subsection (c) of Section 401:

Val Aguilar aka Valentino W Aguilar
1169 N Jackson Street
Casper, WY 82601

RESOLUTION NO. 16-261
A RESOLUTION AUTHORIZING NUISANCE ABATEMENT LIEN.

WHEREAS, the City of Casper abated a nuisance on real property owned by Val Aguilar on July 15 and 18, 2016, pursuant to Chapter 8.36 of the Casper Municipal Code; and,

WHEREAS, the cost of the abatement of said nuisance was the sum of \$2,485.33; and,

WHEREAS, Municipal Code Section 8.36.060 provides for the filing of a lien for the nuisance abatement costs incurred by the City against the land where the nuisance was situated.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized and directed to execute, and the City Clerk attest, a Nuisance Abatement Lien in the total sum of \$2,485.33 against real property owned by Val Aguilar as described and set forth therein, being the costs incurred by the City of Casper in abating a nuisance on said real property pursuant to Chapter 8.36 of the Casper Municipal Code.

BE IT FURTHER RESOLVED that said Nuisance Abatement Lien be filed with the Natrona County Clerk as a lien against the real property described therein.

PASSED, APPROVED, AND ADOPTED this _____ day of _____, 2016.

ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

November 15, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Tracey L. Belser, Support Services Director *TLB*
Pete Meyers, Assistant Support Services Director
Carla Mills-Laatsch, Customer Service Supervisor *CLM*

SUBJECT: Public Hearing for New Resort Liquor License No. 5, to Western States, Inc., d.b.a Ramada Plaza Riverside, located at 300 West 'F' Street.

Recommendation:

That Council, by minute action, authorize the issuance of Resort Liquor License No. 5 to Western States, Inc., d.b.a Ramada Plaza Riverside, located at 300 West 'F' Street.

Summary:

An application has been received for a new Resort Liquor License No. 5 from Western States, Inc., d.b.a Ramada Plaza Riverside, located at 300 West 'F' Street.

Per State Statute 12-4-401 (b) and Municipal Code 5.08.240 (B) to qualify for a resort liquor license, the resort complex must:

- Have an actual valuation of, or the applicant shall have committed or expended on the complex, not less than one million dollars, excluding the value of the land.
- Include a restaurant and convention facility, which convention facility shall seat no less than one hundred persons.
- Include motel or hotel accommodations with a minimum of one hundred sleeping rooms.

The applicant has satisfied these requirements.

Additional stipulations for resort liquor licenses are:

- Upon approval of the City Council, license ownership may be transferred to a purchaser or lessee of the licensed premises, but the license may not be transferred to another location.
- Resort Liquor Licensees shall not sell alcoholic liquor or malt beverages for consumption off the premises owned or leased by the licensee.

Currently, Western States, Inc., holds Retail Liquor License No. 32. Upon approval of the Resort Liquor License, Western States, Inc. would then respectfully request the City Council to approve the transfer of the Retail Liquor License to Roaring 22, LLC., d.b.a

Roaring 22. There is no cap on how many Resort Liquor Licenses a licensing authority can issue.

As required by Municipal Code 05.08.070, a notice has been published in a local newspaper once a week for four consecutive weeks. As required by State Statute 12-4-104(a) it is being advertised on the City's website (www.casperwy.gov).

NEW OR TRANSFER LIQUOR LICENSE OR PERMIT APPLICATION

To be completed by the City/Town or County Clerk:

Date Filed With Clerk: 10, 10, 2010

	<u>Annual Fee</u>	<u>Prorated Fee</u>
Basic Fee:	\$ _____	\$ <u>500.00</u>
Add'l Dispensing Room Fee:	\$ _____	\$ _____
Transfer Fee:	\$ _____	\$ _____
Total License Fee Collected:	\$ _____	\$ _____
Publishing Fee Collected:	\$ <u>47.48</u>	\$ _____

Publishing Direct Billed:

Advertising Dates (2 wks): 10/19, 23, 30 Nov 4

Hearing Date: 11, 15, 2010

LICENSE TERM: 11, 10, 2010
Month Day Year

Through: 03, 31, 2017
Month Day Year

A copy must be immediately forwarded to:
 State of Wyoming Liquor Division
 6601 Campstool Rd.
 Cheyenne WY 82002-0110
Resort #5

Formerly Held by: _____

Applicant: WESTERN STATES, INC.

Trade Name (dba): Ramada plaza Riverside

Premise Address: 300 West F St.
Number & Street

CASPER WY 82601 Natrona
City State Zip County

Mailing Address: 300 West F St
Number & Street or P.O. Box

CASPER WY 82601
City State Zip

Business Telephone Number: (307) 235 2531

Fax Number: (307) 473 3100

E-Mail Address: _____

LICENSING AUTHORITY: Begin publishing promptly. As W.S. 12-4-104(d) specifies: **NO LICENSING AUTHORITY SHALL APPROVE OR DENY THE APPLICATION UNTIL THE LIQUOR DIVISION HAS CERTIFIED THE APPLICATION IS COMPLETE.**

<p>FILING FOR</p> <p><input checked="" type="checkbox"/> NEW <input type="checkbox"/> TRANSFER LOCATION <input type="checkbox"/> TRANSFER OWNERSHIP</p> <p>FILING IN (CHOOSE ONLY ONE)</p> <p><input checked="" type="checkbox"/> CITY OF <u>CASPER</u></p> <p><input checked="" type="checkbox"/> COUNTY OF <u>NATRONA</u></p> <p>FILING AS (CHOOSE ONLY ONE)</p> <table border="0"> <tr> <td><input type="checkbox"/> INDIVIDUAL</td> <td><input type="checkbox"/> LLC</td> </tr> <tr> <td><input type="checkbox"/> PARTNERSHIP</td> <td><input type="checkbox"/> LLP</td> </tr> <tr> <td><input checked="" type="checkbox"/> CORPORATION</td> <td></td> </tr> <tr> <td><input type="checkbox"/> LTD PARTNERSHIP</td> <td></td> </tr> <tr> <td><input type="checkbox"/> ASSOCIATION</td> <td></td> </tr> <tr> <td><input type="checkbox"/> ORGANIZATION</td> <td></td> </tr> </table>	<input type="checkbox"/> INDIVIDUAL	<input type="checkbox"/> LLC	<input type="checkbox"/> PARTNERSHIP	<input type="checkbox"/> LLP	<input checked="" type="checkbox"/> CORPORATION		<input type="checkbox"/> LTD PARTNERSHIP		<input type="checkbox"/> ASSOCIATION		<input type="checkbox"/> ORGANIZATION		<p>TYPE OF LICENSE OR PERMIT (CHOOSE ONLY ONE)</p> <p>RETAIL LIQUOR LICENSE</p> <p><input type="checkbox"/> ON-PREMISE ONLY (BAR) <input type="checkbox"/> OFF-PREMISE ONLY (PACKAGE STORE) <input type="checkbox"/> COMBINATION ON/OFF PREMISE (BOTH BAR & PACKAGE STORE)</p> <p><input checked="" type="checkbox"/> RESTAURANT LIQUOR LICENSE</p> <p><input checked="" type="checkbox"/> RESORT LIQUOR LICENSE</p> <p><input type="checkbox"/> BAR AND GRILL</p> <p>LIMITED RETAIL (CLUB)</p> <p><input type="checkbox"/> VETERANS CLUB <input type="checkbox"/> FRATERNAL CLUB <input type="checkbox"/> GOLF CLUB <input type="checkbox"/> SOCIAL CLUB</p> <p><input type="checkbox"/> MICROBREWERY</p> <p><input type="checkbox"/> WINERY</p> <p><input type="checkbox"/> DISTILLERY SATELLITE</p> <p><input type="checkbox"/> WINERY SATELLITE</p> <p><input type="checkbox"/> COUNTY RETAIL or SPECIAL MALT BEVERAGE PERMIT</p>	<p>To Assist the Liquor Division with scheduling inspections:</p> <p>WHEN DO YOU OPERATE?</p> <p><input type="checkbox"/> NON-OPERATIONAL/PARKED</p> <p><input checked="" type="checkbox"/> FULL TIME (e.g. Jan through Dec)</p> <p><input type="checkbox"/> SEASONAL/PART-TIME (specify months of operation) from _____ to _____</p> <p>DAYS OF WEEK (e.g. Mon, through Sat) <u>MON Through SUN</u></p> <p>HOURS OF OPERATION (e.g. 10a - 2a) <u>10 AM - 12 PM</u></p>
<input type="checkbox"/> INDIVIDUAL	<input type="checkbox"/> LLC													
<input type="checkbox"/> PARTNERSHIP	<input type="checkbox"/> LLP													
<input checked="" type="checkbox"/> CORPORATION														
<input type="checkbox"/> LTD PARTNERSHIP														
<input type="checkbox"/> ASSOCIATION														
<input type="checkbox"/> ORGANIZATION														

1. DISPENSING ROOM DESCRIPTION WITH DIMENSIONS:

(a) Give a description with dimensions of the dispensing room and state where it is located within the building (e.g. 10 x 12 room in SE corner of building). Please provide a drawing of the establishment that includes the dispensing room: W.S. 12-4-102(a)(i)

72.5' X 33.5' Room is North Central portion of building

(b) If Winery or Microbrewery, also list the manufacturing facility. (e.g. MFG: 10' X 12' room in SW portion of bldg.)

MFG: _____

(c) Do you have an additional dispensing room? YES NO If yes, provide description and location:

W.S. 12-5-201 (b) 1st W Convention Room

(d) Provide the legal description and the zoning of the site where the applicant will conduct business:

Tract 2 at intersection of Overland Trail Kati Lane, Holiday Hills, zoned C-2

2. BUILDING OWNERSHIP: Does the applicant? W.S. 12-4-103 (a) (iii)

- (1) **OWN** the building in which sales room is located?
 (2) **LEASE** the building in which sales room is located?

YES (own)
 YES (lease)

(A) **DATE** lease expires _____ located on page _____ paragraph _____ of lease document.

(B) Provision for **SALE** of alcoholic or malt beverages located on page _____ paragraph _____ of lease.

NOTE: Please submit a copy of the lease with the application. W.S. 12-2-103(a)(iii) requires the lease be valid THROUGH the TERM OF THE LICENSE and MUST contain a provision for SALE OF ALCOHOLIC or MALT BEVERAGES.

3. Have you already assigned, leased, transferred or do you intend to assign, lease, transfer, contract or in any other manner agree with any person or firm other than yourself as licensee to operate and assert control or partial control of the license and the licensed room to carry on the licensed liquor business? YES NO
4. Does any manufacturer, brewer, rectifier, wholesaler, or through a subsidiary affiliate, officer, director or member of any such firm: W.S. 12-5-401, 12-5-402, 12-5-403
- (a) Hold any interest in the license applied for? YES NO
- (b) Furnish by way of loan or any other money or financial assistance for purposes hereof in your business? YES NO
- (c) Furnish, give, rent or loan any equipment, fixtures, interior decorations or signs other than standard brewery or manufacturer's signs? YES NO
- (d) If you answered YES to any of the above, explain fully and submit any documents in connection therewith: _____
5. Does the applicant have any interest or intent to acquire an interest in any other liquor license issued by this licensing authority? W.S. 12-4-103(b) YES NO
If "YES", explain: _____
6. Is the applicant a mayor, member of a city or town council, or member of the board of county commissioners within the jurisdiction of this licensing authority? W.S. 12-4-103(a)(i) YES NO
7. Is the applicant employed by the State, City or Town, or County as a law enforcement officer, or hold office as a law enforcement officer through election? W.S. 12-4-103(a)(ii) YES NO

RESTAURANT OR BAR AND GRILL LICENSE:

8. Have you submitted a valid food service permit? W.S. 12-4-407(a)/W.S. 12-4-413(a) YES NO

RESORT LICENSE:

9. Does the resort complex:
- (a) Have an actual valuation of at least one million dollars, or have you committed or expended at least one million dollars (\$1,000,000.00) on the complex, excluding the value of the land? W.S. 12-4-401(b)(i) YES NO
- (b) Include a restaurant and a convention facility which will seat at least one hundred (100) persons? W.S. 12-4-401(b)(ii) YES NO
- (c) Include motel, hotel or privately owned condominium, town house or home accommodations approved for short term occupancy with at least one hundred (100) sleeping rooms? W.S. 12-4-401(b)(iii) YES NO
- (d) If no on question (c), have a ski resort facility open to the general public in which you have committed or expended at least one million dollars (\$1,000,000.00)? W.S. 12-4-401(b)(iv) YES NO

MICROBREWERY LICENSE:

10. Will the license be held in conjunction with another liquor license? W.S. 12-4-412(b)(iii) YES NO
- (a) If "YES", please specify type: RETAIL RESTAURANT RESORT BAR AND GRILL MICROBREWERY WINERY
11. (a) Do you self distribute your products? W.S. 12-2-201(a) (Requires additional licensing with the Liquor Division) YES NO
- (b) Do you distribute your products through an existing malt beverage wholesaler? W.S. 12-2-201(g)(i) (Requires additional licensing with the Liquor Division) YES NO

WINERY LICENSE:

12. Will the license be held in conjunction with another liquor license? W.S. 12-4-412(b)(iii) YES NO
- (a) If "YES", please specify type: RETAIL RESTAURANT RESORT BAR AND GRILL MICROBREWERY WINERY

LIMITED RETAIL (CLUB) LICENSE:

13. FRATERNAL CLUBS W.S. 12-1-101(a)(iii)(B)
- (a) Has the fraternal organization been actively operating in at least thirty-six (36) states? YES NO
- (b) Has the fraternal organization been actively in existence for at least twenty (20) years? YES NO

LIMITED RETAIL (CLUB) LICENSE:

14. VETERANS CLUBS W.S. 12-1-101(a)(iii)(A):
- (a) Does the Veteran's organization hold a charter by the Congress of the United States? YES NO
- (b) Is the membership of the Veteran's organization comprised only of Veterans and its duly organized auxiliary? YES NO

LIMITED RETAIL (CLUB) LICENSE:

15. SOCIAL CLUBS W.S. 12-1-101(a)(iii)(E):

- (a) Do you have more than one hundred (100) bona fide members who are residents of the county in which the club is located? YES NO
- (b) Is the club incorporated and operating solely as a nonprofit organization under the laws of this state? YES NO
- (c) Is the club qualified as a tax exempt organization under the Internal Revenue Service? YES NO
- (d) Has the club been in continuous operation for a period of not less than one (1) year? YES NO
- (e) Has the club received twenty-five dollars (\$25.00) from each bona fide member as recorded by the secretary of the club and are club members at the time of this application in good standing by having paid at least one (1) full year in dues? YES NO
- (f) Does the club hold quarterly meetings and have an actively engaged membership carrying out the objectives of the club? YES NO
- (g) Have you filed a true copy of your bylaws with the local licensing authority and the Wyoming Liquor Division? YES NO
- (h) Has at least fifty one percent (51%) of the membership signed a petition indicating a desire to secure a Limited Retail Liquor License?
(THE PETITION MUST BE ATTACHED TO APPLICATION) YES NO
- (i) Have you filed with the licensing authority and the Wyoming Liquor Division a detailed statement of your activities during the preceding year which were undertaken or furthered in pursuit of the objectives of the club, along with an itemized statement expended for such activities? YES NO

LIMITED RETAIL (CLUB) LICENSE:

16. GOLF CLUBS W.S. 12-1-101(a)(iii)(D):

- (a) Do you have more than fifty (50) bona fide members? YES NO
- (b) Do you own, maintain, or operate a bona fide golf course together with clubhouse? YES NO

17. (a) If applicant is filing as an Individual or Partnership: W. S. 12-4-102 (a) (ii) & (iii)

Each individual or partner must complete this section.

If the applicant is filing as a Club:

Each officer must complete this section.

True and Correct Name	Date of Birth	DONOT LIST PO BOXES Residence Address No. & Street City, State & Zip	Residence Phone Number	Have you been a DOMICILED resident for at least 1 year and not claimed residence in any other state in the last year?	Have you been Convicted of a Felony Violation?	Have you been Convicted of a Violation Relating to Alcoholic Liquor or Malt Beverages?
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
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				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>

(If more information is required, list on a separate piece of paper and attach to this application.)

(b) If the applicant is a Corporation, Limited Liability Company, Limited Liability Partnership or Limited Partnership: W.S. 12-4-102 (a) (iv) & (v)

Each stockholder holding, either jointly or severally, ten percent (10%) or more of the outstanding and issued capital stock of the corporation, limited liability company, limited liability partnership, or limited partnership, and every officer, and every director must complete this section.

True and Correct Name	Date of Birth	DONOT LIST PO BOXES Residence Address No. & Street City, State & Zip	Residence Phone Number	No. of Years in Corp or LLC	% of Stock Held	Have you been Convicted of a Felony Violation?	Have you been Convicted of a Violation Relating to Alcoholic Liquor or Malt Beverages?
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
Satwant S. Swan						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
Amrit Kotal						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

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Each individual or partner must complete this section.

If the applicant is filing as a Club:

Each officer must complete this section.

True and Correct Name	Date of Birth	DONOT LIST PO BOXES Residence Address No. & Street City, State & Zip	Residence Phone Number	Have you been a DOMICILED resident for at least 1 year and not claimed residence in any other state in the last year?	Have you been Convicted of a Felony Violation?	Have you been Convicted of a Violation Relating to Alcoholic Liquor or Malt Beverages?
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>

(If more information is required, list on a separate piece of paper and attach to this application.)

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Each stockholder holding, either jointly or severally, ten percent (10%) or more of the outstanding and issued capital stock of the corporation, limited liability company, limited liability partnership, or limited partnership, and every officer, and every director must complete this section.

True and Correct Name	Date of Birth	DONOT LIST PO BOXES Residence Address No. & Street City, State & Zip	Residence Phone Number	No. of Years in Corp or LLC	% of Stock Held	Have you been Convicted of a Felony Violation?	Have you been Convicted of a Violation Relating to Alcoholic Liquor or Malt Beverages?
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
<i>NINDER K MANN</i>						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
<i>Jaskeen K MANN</i>						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
						YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(If more information is required, list on a separate piece of paper and attach to this application.)

November 15, 2016

MEMO TO: V. H. McDonald, City Manager

FROM: Tracey L. Belser, Assistant City Manager *TLB*
Pete Meyers, Assistant Support Services Director
Carla Mills-Laatsch, Customer Service Supervisor *CLM*

SUBJECT: Public Hearing for the consideration of the Transfer of Ownership and Location for Retail Liquor License No. 32, from Western States, Inc., d.b.a Ramada Plaza Riverside, located at 300 West 'F' Street to Roaring 22, Inc., d.b.a Roaring 22, located at 314 Midwest Avenue.

Recommendation:

That Council, by minute action, authorize the Transfer of Ownership and Location for Retail Liquor License No. 32, from Western States, Inc., d.b.a Ramada Plaza Riverside, located at 300 West 'F' Street to Roaring 22, Inc., d.b.a Roaring 22, located at 314 Midwest Avenue.

Summary:

An application has been received for a Transfer of Ownership and Location for Retail Liquor License No. 32, from Western States, Inc., d.b.a Ramada Plaza Riverside, located at 300 West 'F' Street to Roaring 22, Inc., d.b.a Roaring 22, located at 314 Midwest Avenue.

Currently, Western States, Inc. holds Retail Liquor License No. 32. Upon approval of a Resort Liquor License, Western States, Inc. would then respectfully request the City Council to approve the transfer of Retail Liquor License to Roaring 22, LLC., d.b.a Roaring 22.

As required by Municipal Code 05.08.070, a notice has been published in a local newspaper once a week for four consecutive weeks. As required by State Statute 12-4-104(a) it is being advertised on the City's website (www.casperwy.gov).

NEW OR TRANSFER LIQUOR LICENSE OR PERMIT APPLICATION

To be completed by the City/Town or County Clerk:

Date Filed With Clerk: 10 / 4 / 2014

	<u>Annual Fee</u>	<u>Prorated Fee</u>
Basic Fee:	\$ -	\$ -
Add'l Dispensing Room Fee:	\$ -	\$ -
Transfer Fee:	\$ <u>100.00</u>	
Total License Fee Collected	\$ -	\$ -
Publishing Fee Collected:	\$ <u>195.74</u>	

Publishing Direct Billed:

Advertising Dates (2 wks): 10/19, 23, 30 + Nov 6

Hearing Date: 11 / 15 / 2014

LICENSE TERM: 11 / 16 / 2014
Month Day Year

Through: 03 / 31 / 2017
Month Day Year

A copy must be immediately forwarded to:
 State of Wyoming Liquor Division
 6601 Campstool Rd.
 Cheyenne WY 82002-0110

Retail 32

Formerly Held by: Western States, Inc.

Applicant: Roaring 22, LLC

Trade Name (dba): Roaring 22

Premise Address: 314^{W.S. 12-4-103} Midwest Avenue
Number & Street

Casper WY 82601 Natrona
City State Zip County

Mailing Address: PO Box 2706
Number & Street or P.O. Box

Casper WY 82602
City State Zip

Business Telephone Number: (307) 262-8003

Fax Number: ()

E-Mail Address: rjbratton@rjbconsult.com

LICENSING AUTHORITY: Begin publishing promptly. As W.S. 12-4-104(d) specifies: **NO LICENSING AUTHORITY SHALL APPROVE OR DENY THE APPLICATION UNTIL THE LIQUOR DIVISION HAS CERTIFIED THE APPLICATION IS COMPLETE.**

<p>FILING FOR</p> <p><input type="checkbox"/> NEW <input checked="" type="checkbox"/> TRANSFER LOCATION <input checked="" type="checkbox"/> TRANSFER OWNERSHIP</p> <p>FILING IN (CHOOSE ONLY ONE)</p> <p><input checked="" type="checkbox"/> CITY OF <small>Casper</small></p> <p><input checked="" type="checkbox"/> COUNTY OF <small>NATRONA</small></p> <p>FILING AS (CHOOSE ONLY ONE)</p> <p><input type="checkbox"/> INDIVIDUAL <input checked="" type="checkbox"/> LLC <input type="checkbox"/> PARTNERSHIP <input type="checkbox"/> LLP <input type="checkbox"/> CORPORATION <input type="checkbox"/> LTD PARTNERSHIP <input type="checkbox"/> ASSOCIATION <input type="checkbox"/> ORGANIZATION</p>	<p style="text-align: center;">TYPE OF LICENSE OR PERMIT (CHOOSE ONLY ONE)</p> <p>RETAIL LIQUOR LICENSE</p> <p><input checked="" type="checkbox"/> ON-PREMISE ONLY (BAR) <input type="checkbox"/> OFF-PREMISE ONLY (PACKAGE STORE) <input type="checkbox"/> COMBINATION ON/OFF PREMISE <small>(BOTH BAR & PACKAGE STORE)</small></p> <p><input type="checkbox"/> RESTAURANT LIQUOR LICENSE <input type="checkbox"/> RESORT LIQUOR LICENSE <input type="checkbox"/> BAR AND GRILL</p> <p>LIMITED RETAIL (CLUB)</p> <p><input type="checkbox"/> VETERANS CLUB <input type="checkbox"/> FRATERNAL CLUB <input type="checkbox"/> GOLF CLUB <input type="checkbox"/> SOCIAL CLUB</p> <p><input type="checkbox"/> MICROBREWERY <input type="checkbox"/> WINERY <input type="checkbox"/> DISTILLERY SATELLITE <input type="checkbox"/> WINERY SATELLITE <input type="checkbox"/> COUNTY RETAIL or SPECIAL MALT BEVERAGE PERMIT</p>	<p>To Assist the Liquor Division with scheduling inspections:</p> <p>WHEN DO YOU OPERATE?</p> <p><input type="checkbox"/> NON-OPERATIONAL/PARKED <input checked="" type="checkbox"/> FULL TIME (e.g. Jan through Dec) <input type="checkbox"/> SEASONAL/PART-TIME</p> <p>(specify months of operation) from <u>January</u> to <u>December</u></p> <p>DAYS OF WEEK (e.g. Mon through Sat) <u>Monday through Sunday</u></p> <p>HOURS OF OPERATION (e.g. 10a - 2a) <u>Mon-Sat: 11a-2a; Sun: 11a-10p</u></p>
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1. DISPENSING ROOM DESCRIPTION WITH DIMENSIONS:

(a) Give a description with dimensions of the dispensing room and state where it is located within the building (e.g. 10 x 12 room in SE corner of building). Please provide a drawing of the establishment that includes the dispensing room: W.S. 12-4-102(a)(i)

An "L" shaped room counting 445 sq. ft. in center of building.

(b) If Winery or Microbrewery, also list the manufacturing facility. (e.g. MFG: 10' X 12' room in SW portion of bldg)

MFG: _____

(c) Do you have an additional dispensing room? YES NO If yes, provide description and location:
15' x 10' Room in the back (west) of the building

(d) Provide the legal description and the zoning of the site where the applicant will conduct business:
We will be conducting business at 314 W. Midwest Avenue Casper, WY 82601; CASPER BLK 19 LOT 10-12; Zoned Commercial

2. BUILDING OWNERSHIP: Does the applicant? W.S. 12-4-103 (a) (iii)

(1) OWN the building in which sales room is located? YES (own)
 YES (lease)

(2) LEASE the building in which sales room is located?

(A) DATE lease expires _____ located on page _____ paragraph _____ of lease document.
 (B) Provision for SALE of alcoholic or malt beverages located on page _____ paragraph _____ of lease.

NOTE: Please submit a copy of the lease with the application. W.S. 12-2-103(a)(iii) requires the lease be valid THROUGH the TERM OF THE LICENSE and MUST contain a provision for SALE OF ALCOHOLIC or MALT BEVERAGES.

3. Have you already assigned, leased, transferred or do you intend to assign, lease, transfer, contract or in any other manner agree with any person or firm other than yourself as licensee to operate and assert control or partial control of the license and the licensed room to carry on the licensed liquor business? YES NO
4. Does any manufacturer, brewer, rectifier, wholesaler, or through a subsidiary affiliate, officer, director or member of any such firm: W.S. 12-5-401, 12-5-402, 12-5-403
- (a) Hold any interest in the license applied for? YES NO
- (b) Furnish by way of loan or any other money or financial assistance for purposes hereof in your business? YES NO
- (c) Furnish, give, rent or loan any equipment, fixtures, interior decorations or signs other than standard brewery or manufacturer's signs? YES NO
- (d) If you answered YES to any of the above, explain fully and submit any documents in connection therewith: _____
5. Does the applicant have any interest or intent to acquire an interest in any other liquor license issued by this licensing authority? W.S. 12-4-103(b) YES NO
If "YES", explain: The applicant intends to apply for a microbrewery license
6. Is the applicant a mayor, member of a city or town council, or member of the board of county commissioners within the jurisdiction of this licensing authority? W.S. 12-4-103(a)(i) YES NO
7. Is the applicant employed by the State, City or Town, or County as a law enforcement officer, or hold office as a law enforcement officer through election? W.S. 12-4-103(a)(ii) YES NO

RESTAURANT OR BAR AND GRILL LICENSE:

8. Have you submitted a valid food service permit? W.S. 12-4-407(a)/W.S. 12-4-413(a) YES NO

RESORT LICENSE:

9. Does the resort complex:
- (a) Have an actual valuation of at least one million dollars, or have you committed or expended at least one million dollars (\$1,000,000.00) on the complex, excluding the value of the land? W.S. 12-4-401(b)(i) YES NO
- (b) Include a restaurant and a convention facility which will seat at least one hundred (100) persons? W.S. 12-4-401(b)(ii) YES NO
- (c) Include motel, hotel or privately owned condominium, town house or home accommodations approved for short term occupancy with at least one hundred (100) sleeping rooms? W.S. 12-4-401(b)(iii) YES NO
- (d) If no on question (c), have a ski resort facility open to the general public in which you have committed or expended at least one million dollars (\$1,000,000.00)? W.S. 12-4-401(b)(iv) YES NO

MICROBREWERY LICENSE:

10. Will the license be held in conjunction with another liquor license? W.S. 12-4-412(b)(iii) YES NO
- (a) If "YES", please specify type: RETAIL RESTAURANT RESORT BAR AND GRILL MICROBREWERY WINERY
11. (a) Do you self distribute your products? W.S. 12-2-201(a) (Requires additional licensing with the Liquor Division) YES NO
- (b) Do you distribute your products through an existing malt beverage wholesaler? W.S. 12-2-201(g)(i) (Requires additional licensing with the Liquor Division) YES NO

WINERY LICENSE:

12. Will the license be held in conjunction with another liquor license? W.S. 12-4-412(b)(iii) YES NO
- (a) If "YES", please specify type: RETAIL RESTAURANT RESORT BAR AND GRILL MICROBREWERY WINERY

LIMITED RETAIL (CLUB) LICENSE:

13. FRATERNAL CLUBS W.S. 12-1-101(a)(iii)(B)
- (a) Has the fraternal organization been actively operating in at least thirty-six (36) states? YES NO
- (b) Has the fraternal organization been actively in existence for at least twenty (20) years? YES NO

LIMITED RETAIL (CLUB) LICENSE:

14. VETERANS CLUBS W.S. 12-1-101(a)(iii)(A):
- (a) Does the Veteran's organization hold a charter by the Congress of the United States? YES NO
- (b) Is the membership of the Veteran's organization comprised only of Veterans and its duly organized auxiliary? YES NO

LIMITED RETAIL (CLUB) LICENSE:

15. SOCIAL CLUBS W.S. 12-1-101(a)(iii)(E):

- (a) Do you have more than one hundred (100) bona fide members who are residents of the county in which the club is located? YES NO
- (b) Is the club incorporated and operating solely as a nonprofit organization under the laws of this state? YES NO
- (c) Is the club qualified as a tax exempt organization under the Internal Revenue Service? YES NO
- (d) Has the club been in continuous operation for a period of not less than one (1) year? YES NO
- (e) Has the club received twenty-five dollars (\$25.00) from each bona fide member as recorded by the secretary of the club and are club members at the time of this application in good standing by having paid at least one (1) full year in dues? YES NO
- (f) Does the club hold quarterly meetings and have an actively engaged membership carrying out the objectives of the club? YES NO
- (g) Have you filed a true copy of your bylaws with the local licensing authority and the Wyoming Liquor Division? YES NO
- (h) Has at least fifty one percent (51%) of the membership signed a petition indicating a desire to secure a Limited Retail Liquor License?
(THE PETITION MUST BE ATTACHED TO APPLICATION) YES NO
- (i) Have you filed with the licensing authority and the Wyoming Liquor Division a detailed statement of your activities during the preceding year which were undertaken or furthered in pursuit of the objectives of the club, along with an itemized statement expended for such activities? YES NO

LIMITED RETAIL (CLUB) LICENSE:

16. GOLF CLUBS W.S. 12-1-101(a)(iii)(D):

- (a) Do you have more than fifty (50) bona fide members? YES NO
- (b) Do you own, maintain, or operate a bona fide golf course together with clubhouse? YES NO

17. (a) If applicant is filing as an Individual or Partnership: W. S. 12-4-102 (a) (ii) & (iii)
Each individual or partner must complete this section.

If the applicant is filing as a Club:
Each officer must complete this section.

True and Correct Name	Date of Birth	DONOT LIST PO BOXES Residence Address No. & Street City, State & Zip	Residence Phone Number	Have you been a DOMICILED resident for at least 1 year and not claimed residence in any other state in the last year?	Have you been Convicted of a Felony Violation?	Have you been Convicted of a Violation Relating to Alcoholic Liquor or Malt Beverages?
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
				YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>

(If more information is required, list on a separate piece of paper and attach to this application.)

(b) If the applicant is a Corporation, Limited Liability Company, Limited Liability Partnership or Limited Partnership: W.S. 12-4-102 (a) (iv) & (v)

Each stockholder holding, either jointly or severally, ten percent (10%) or more of the outstanding and issued capital stock of the corporation, limited liability company, limited liability partnership, or limited partnership, and every officer, and every director must complete this section.

True and Correct Name	Date of Birth	DONOT LIST PO BOXES Residence Address No. & Street City, State & Zip	Residence Phone Number	No. of Years in Corp or LLC	% of Stock Held	Have you been Convicted of a Felony Violation?	Have you been Convicted of a Violation Relating to Alcoholic Liquor or Malt Beverages?
						YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Richard John Bratton, Jr	03/30/1983	1200 S. Mitchell St Casper, WY 82601	307 262 8003	Less than 1	33.33%	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Pete Maxwell	08/23/1988	3764 W. 38th St Casper, WY 82604	307 258 8784	Less than 1	33.33%	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Matt Galloway	02/27/1975	4017 W. 38th St Casper, WY 82604	307.760.1747	Less than 1	16.67%	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
Mark Galloway	05/20/1966	4010 W 39th St Casper, WY 82601	307.259.5569	Less than 1	16.67%	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
						YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>

(If more information is required, list on a separate piece of paper and attach to this application.)

ORDINANCE NO. 12-16

AN ORDINANCE APPROVING A ZONE CHANGE FOR LOTS 1-3, BLOCK 3, LOT 1, BLOCK 4; AND LOT 1, BLOCK 2; ALL LOCATED IN THE HARMONY HILLS ADDITION NO. 2 – PHASE 2, IN THE CITY OF CASPER, WYOMING.

WHEREAS, an application has been made to rezone all of the above described lots from zoning classification C-2 (General Business) to R-2 (One Unit Residential); and,

WHEREAS, after a public hearing on September 15, 2016, the City of Casper Planning and Zoning Commission passed a motion recommending that City Council approve the zone change request; and,

WHEREAS, the governing body of the City of Casper finds that the above described zone change should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING:

SECTION 1:

Lots 1 - 3, Block 3; Lot 1, Block 4; and Lot 1, Block 2; Harmony Hills Addition No. 2 – Phase 2; more commonly known as 1725, 1625, 1575, 1525, and 4911 Yesness Court , are hereby rezoned from zoning classification C-2 (General Business) to R-2 (One Unit Residential).

SECTION 2:

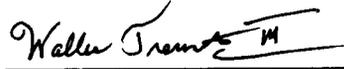
This ordinance shall be in full force and effect from and after passage on three readings and publication pursuant to law.

PASSED on 1st reading the 18th day of October, 2016.

PASSED on 2nd reading the 1st day of November, 2016.

PASSED, APPROVED, AND ADOPTED on 3rd and final reading the day of _____, 2016.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

(Ordinance Zone Change for Lots 1-3, Block 3, Lot 1, Block 4; and Lot 1, Block 2; All Located in the Harmony Hills Addition No. 2 – Phase 2, in the City of Casper, Wyoming)

ORDINANCE NO. 13-16

AN ORDINANCE APPROVING A COUNCIL-INITIATED ZONE CHANGE OF MULTIPLE PROPERTIES LOCATED IN THE OLD YELLOWSTONE DISTRICT AND SOUTH POPLAR STREET CORRIDOR.

WHEREAS, in accordance with Section 17.12.160 of the Casper Municipal Code, the City Council can initiate zone changes; and,

WHEREAS, the Old Yellowstone District and South Poplar Street Corridor form-based code ("OYDSPC") was adopted by the City as a new zoning classification in June of 2008 and was based on the adopted West Central and South Poplar Street Corridor Plan which was adopted by Council in September of 2007; and,

WHEREAS, concurrent with the adoption of the OYDSPC as a new zoning district, the City rezoned approximately one hundred thirty (130) acres, more or less, to OYDSPC, including approximately thirty (30) acres consisting of the area generally east and west of South Poplar Street, between West Collins Drive and CY Avenue, commonly referred to as the South Poplar Street Corridor ("SPC"); and,

WHEREAS, in July of 2016, the Old Yellowstone District Advisory Committee met, and unanimously supported a recommendation that the City Council initiate a zone change of the portion of the SPSC located along South Poplar Street, from West Collins Drive to CY Avenue, and remove it from the OYDSPC; and,

WHEREAS, the rezoning of the properties located generally along South Poplar Street would not adversely affect the adopted West Central and South Poplar Street Corridor Plan, and will encourage the redevelopment of the SPC through traditional zoning regulations, which are more suitable for the character and existing and desired land uses in the area; and,

WHEREAS, the City made a good faith effort to send written notice, by first class U.S. mail, advertising the time and place of the public hearing to all owners of private real estate within a three-hundred foot (300') radius of the perimeter of the properties in question at least fifteen calendar days prior to the hearing date; and,

WHEREAS, notice of the time and place of the City Council public hearing was published in the Casper Star Tribune, pursuant to law; and,

WHEREAS, public notice signs, advertising the time and place of the public hearing, were placed on the north and south boundaries of the portion of the SPC along South Poplar Street, pursuant to law; and,

WHEREAS, the governing body of the City of Casper finds that the Council-initiated zone change, as described in detail below, should be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING:

SECTION 1:

The following properties shall be rezoned from OYDSPC to C-2 (General Business):

Casper Addition, Block 126, Lots 1-9 – (943 West Collins Drive & 909, 921, 927, 933 South Poplar Street);

Casper Addition, Block 127, Lots 1-12 – (1003, 1013, 1017, 1025, 1035, 1037 South Poplar Street & 926, 932 West 11th Street);

Casper Addition, Block 128, Lots 1-14 – (929, 927 West 11th Street & 1103, 1105, 1111, 1121, 1127, 1141, 1157 South Poplar Street);

Casper Addition, Block 129, Lots 1-12 – (927, 931 West 12th Street & 1219, 1229, 1237, 1243 South Poplar Street);

Casper Addition, Block 159, Lots 1-6 – (931, 933 West 13th Street & 1313, 1321, 1329 South Poplar Street & 924 West 14th Street);

Casper Addition, Block 166, Lots 1-4 – (921, 933 West 14th Street & 1425 South Poplar Street);
Casper Addition, Block 224, Lots 9-12 - (1010 CY Avenue);

Casper Addition, Block 165, Lots 7-12 – (1404, 1408, 1420, 1428, 1436 South Poplar Street & 1014 West 15th Street);

Casper Addition, Block 158, Lots 7-12 – (1300, 1334, 1342 South Poplar Street);

Casper Addition, Block 153, Lots 7-12 – (1202, 1210, 1220, 1222, 1226, 1232, 1238, 1242 South Poplar Street);

Casper Addition, Block 140, Lots 15-28 – (1017 West 11th Street & 1104, 1114, 1118, 1124, 1136, 1144, 1154 South Poplar Street);

West Eleventh Street Addition, Lots 1-3 – (1006, 1010, 1014 West 11th Street);

Casper Addition, Block 139, Lots 22-37 – (938, 1016, South Poplar Street).

SECTION 2:

This ordinance shall be in full force and effect from and after passage on three readings and publication pursuant to law.

PASSED on 1st reading the 1st day of November, 2016.

PASSED on 2nd reading the ____ day of _____, 2016.

PASSED, APPROVED, AND ADOPTED on 3rd and final reading the day of _____, 2016.

APPROVED AS TO FORM:

Walker Fremont

ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

November 7, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Liz Becher, Community Development Director 

SUBJECT: Site Plan Agreement for David Street Station, a downtown public plaza located at 200 South David Street.

Recommendation:

That Council, by resolution, authorize the Mayor to sign a Site Plan Agreement for David Street Station as an accommodating party.

Summary:

The Downtown Development Authority is in the process of developing a 47,520 square foot, more or less, downtown public plaza located at 200 South David Street, within the Old Yellowstone District. The mission of the plaza is to enrich the community and its visitors by offering a central gathering place that hosts a wide variety of events and activities.

Per Section 17.94.010(D)(3) of the Casper Municipal Code, a site plan review is required for developments within the Old Yellowstone District. Per Section 17.94.010(D)(4) of the Casper Municipal Code, the Old Yellowstone District Architectural Review Committee is the final reviewing authority for all site plans within the Old Yellowstone District. The Downtown Development Authority presented the site plan to the Architectural Review Committee on January 7, 2016. Additional information related to signage and lighting was requested. The project was presented again on April 15, 2016 where it was approved.

Generally after approval by the Architectural Review Committee, the Site Plan Agreement would then be drafted and signed by the Community Development Director and owner of the subject property. In this case, the City of Casper is the owner of the property and the Downtown Development Authority, as developer, is a lessee. In order to ensure that the owner of the subject property signs off on the Site Plan Agreement, yet preserve the Downtown Development Authority's responsibility for development, the City of Casper has been added to the Site Plan Agreement as an accommodating party. The City of Casper bears no responsibility or liability under this agreement as an accommodating party.

A resolution has been prepared for Council's consideration.

DAVID STREET STATION
200 SOUTH DAVID STREET
SITE PLAN AGREEMENT

THIS AGREEMENT (“Agreement”) is made and entered into this _____ day of _____, 2016, by and between the following parties:

1. City of Casper, Wyoming (“City” or “Owner”), a Wyoming Municipal Corporation, 200 North David Street, Casper, Wyoming, 82601.
2. The Downtown Development Authority of Casper, Wyoming (“Lessee”), 234 S David, Casper, Wyoming 82601, also known as the Casper Downtown Development Authority.

RECITALS

WHEREAS, the Owner and Lessee entered into a *Lease Agreement* for Lots 1-5 and Lots 40-44, Block 1 (except for the portion excepted from Lot 44 as described in the *Lease Agreement*), in the City of Casper, Wyoming, more commonly described as 200 South David Street, Casper, Wyoming (hereinafter referred to as the “leased lots”); and,

WHEREAS, the *Lease Agreement* was recorded on 4/13/2016 at 11:20:43 AM as Instrument Number 1010161 in the Natrona Country Clerk’s Office (17 pages); and,

WHEREAS, Lessee has applied for site plan approval for the construction of a downtown public plaza on the leased lots; and,

WHEREAS, pursuant to Sections 17.08.010 (definition of “Owner”) and 17.12.150 J. of the Casper Municipal Code, the Owner is required to submit a site plan prior to the construction of said plaza on the leased lots, which also requires the approval of the Old Yellowstone District Architectural Review Committee; and,

WHEREAS, the Owner is signing this Agreement as an accommodating party to this Site Plan Agreement, solely to allow the Lessee to submit a Site Plan for City approval; and,

WHEREAS, Owner has no responsibility or liability for the costs, expenses, duties or obligations to be performed by the Lessee under this Agreement; and,

WHEREAS, the Lessee is solely and completely responsible for performing all duties and obligations set forth in this Agreement, and for paying all costs, expenses therefor.

WHEREAS, a copy of the site plan, “David Street Station” is attached hereto as Exhibit "A," and is incorporated herein at this point as if fully set forth.

NOW, THEREFORE, the parties hereto agree as follows:

I. INCORPORATION OF RECITALS:

The recitals set forth above are hereby incorporated herein at this point as if fully set forth as part of this Agreement.

II. EXPLICIT CONDITIONS:

- A. Lessee shall replace the existing sewer manhole in the alley west of David Street and east of Ash Street with a new manhole, south of the vacated portion of the alley within the alley public right of way.
- B. Prior to receiving a certificate of occupancy, Lessee shall provide the City with an access easement for secondary access to the new sewer manhole, in a form and location acceptable to the City.
- C. The abandoned section of the alley sewer main shall be slurry filled by the Lessee, per City of Casper Engineering Division standard specifications.

III. OBLIGATIONS OF THE LESSEE:

Upon written demand of the Council or the City Manager, the Lessee, at its sole cost and expense, shall do, or cause to be done, the following:

- A. The Lessee shall landscape the property in keeping with the site plan (Exhibit A) approved by the Community Development Director, and comply with the following landscaping requirements:
 - 1. Landscape and beautify the areas identified on the site plan (Exhibit A).
 - 2. Plant material used for landscaping shall meet the criteria and specifications set forth in that certain manual entitled "Building Casper's Urban Forest."
 - 3. All planted areas on the property shall be maintained to the degree that they will not create a fire hazard or become unsightly to the development.
 - 4. Upon demand of the Council, the Lessee shall replace and replant any required on-site plant material that dies, or is not in conformity with the approved landscaping plan. The landscaping requirements shall not be applied to the Lessee of vacant property until such time as an active commercial or residential use is established on that property.

5. Said on-site landscaping shall be completed before a Certificate of Occupancy will be issued. If said landscaping is delayed due to construction of on or off-site improvements, the Lessee may request, in writing, an extension not exceeding six (6) months. If the request demonstrates that, as a result of conditions beyond the control of the Lessee, the landscaping cannot be completed, the Community Development Director is authorized to grant the Lessee's request for an extension, which shall not exceed six (6) months. Once an extension is granted, the building official may issue a Certificate of Occupancy for the structure.
 6. In the case of an extension granted by the Community Development Director for the installation of landscaping, the Lessee is required to post, with the City, a performance security in the form of a bond, cash, letter of credit, or other form acceptable to the City, and otherwise comply with the "Performance Security" section of Title 17, Appendix B of the Casper Municipal Code. The posted amount shall be in an amount of no less than one-hundred twenty five percent (125%) of an itemized estimate prepared by a landscape architect or professional landscaping contractor, for all landscaping material and installation costs necessary to comply with the approved landscaping plan. The Community Development Director shall have the discretion to determine if the amount of the itemized estimate is reasonable, and may request subsequent written estimates to verify the accuracy and validity of the original estimate.
- B. The Lessee shall comply with Section 12.20 of the Casper Municipal Code regarding erosion and sediment control. The Lessee is required to post cash, an irrevocable letter of credit, performance bond, or other approved surety in the amount of ten cents (\$0.10) per square foot of area disturbed, with a minimum amount of Five Thousand Dollars (\$5,000.00). The amount of the surety will be based on the actual area of land disturbed and will be determined when the Lessee submits either an Erosion Control Plan or a building permit for the development. It shall be the obligation of the Lessee to keep any bond or letter of credit in full force and effect for the entire duration of the project. As provided herein, the Lessee shall furnish proof of the same upon demand of the City.
- C. If the Lessee fails to implement the Erosion Control Program, as proposed and approved by the City Engineer, the Lessee, by this Agreement, hereby authorizes the City to use said bond for implementation and completion of the approved Erosion Control Program. In the event the City incurs costs in completing said program over and above the amount of the bond, cash deposit, or letter of credit, Lessee agrees to pay City said costs upon demand by the City. The City shall release the security one year following

the date of final completion of implementation of best management practices on the construction site, or as determined by the City Manager or his designee.

- D. All signs on said site must be approved by the Community Development Director or her designee prior to installation.
- E. All street, alley, and parking surfaces shall be covered with concrete or asphalt concrete pavement materials in accordance with Chapter 16.16 of the Casper Municipal Code. The minimum pavement section for parking and alley surfaces shall be two inch (2") asphaltic concrete surface over two inches (2") asphaltic concrete binder course over six inches (6") of grading W base course. The minimum pavement section for street sections, in accordance with the collector street classification in Chapter 16.16 of the Casper Municipal Code, shall be three inch (3") asphaltic concrete surface over three inches (3") of asphaltic binder course over eight inches (8") of grading "W" base. Alternative pavement designs may be substituted upon approval of the City Engineer. All designs shall be in accordance with Chapter 16.16 of the Casper Municipal Code.
- F. Any and all storm drainage sewer lines, trunk lines, lateral catch basins, manholes, and detention areas shall be designed and installed in accordance with the Drainage Plan prepared by the Lessee, and approved by the Community Development Director and City Engineer.
- G. Lessee shall construct all trash enclosures according to City requirements as shown in the City Engineering Department handouts titled "Minimum Standards for Commercial Sanitation Container Facility" dated March 2002, or "Minimum Standards for Double Bin Commercial Sanitation Facilities." Alternately, upon approval by the City Sanitation Department, other designs may be accepted.
- H. All public improvements shall be designed and inspected by a Wyoming registered professional engineer, who shall certify that the improvements, including curbs, gutter, sidewalks, paving, utility systems, storm sewers, street lighting, street signs, etc., have been constructed in accordance with the approved plans and specifications. The certification by the engineer is required to be in writing.
- I. The Lessee shall maintain, repair, and replace, if necessary, the water and sewer system improvements for a period of eighteen (18) months from the date the certification is approved. This obligation includes maintenance, repair or replacement for any cause during such period, including acts of subcontractors. Upon completion of all maintenance, repair, and replacement to the satisfaction of the City Engineer, the City shall accept the construction thereof in writing and thereafter maintain said water and sewer mains and appurtenances dedicated to the public. In the event the

Lessee fails to maintain, repair, or replace said improvements, City may, at its option, maintain, repair, or replace the same and Lessee agrees to pay for any cost incurred thereby. Maintenance, repair, or replacement by the City does not relieve the Lessee from its obligation under this paragraph and shall not be construed to be an acceptance of the improvements by the City.

- J. Curb boxes shall be left at the water main easement lines in front of each building and the Lessee shall protect, during the subsequent course of developing the Development, valve boxes and curb boxes from damage, and be wholly responsible for the repair and replacement to the City's satisfaction of such that are damaged or destroyed. If the Lessee shall fail or refuse to promptly repair or replace such boxes as required, the City may do so and charge the Lessee directly for said cost. The Lessee shall adjust said valve and curb boxes to finished grade, at the time the paving and/or landscaping work is completed in the Development.
- K. The Lessee shall construct the necessary water mains up to and through the Development. All work shall be in accordance with plans and specifications to be prepared by the Lessee's engineer and approved by the City. Water main sizes shall be as determined by the City.
- L. The Lessee, at its cost, shall install water service lines in accordance with City specifications to the easement lines so as to serve each building site in the Development.
- M. The Lessee shall construct the necessary sewer mains to and through the Development. All work shall be in accordance with plans and specifications to be prepared by the Lessee's engineer and approved by the City. Sewer main sizes shall be as determined by the City.
- N. The Lessee, at its own cost, shall install sewer service lines, in accordance with City specifications, to each building site in the Development.
- O. The Lessee shall protect manhole covers and rings from damage in the course of constructing the sewer main, and shall be solely responsible for repair or replacement to the City's satisfaction. The Lessee shall adjust such manhole rings and covers to finished grade. The Lessee agrees to protect and save the City harmless from any loss or claim suffered by other sewer users to their real or personal property, and from personal injury or damages by reason of obstruction or damage to the sewer lines or any part thereof occasioned by present or future construction work on said Development by the Lessee, and said obligation shall continue until the sewer line and the system within the Development is accepted by the City's representatives; provided, however, that acceptance of part of the system shall not relieve the Lessee of the obligations herein imposed in the

event of damage by reason of future sewer construction within said Development.

- P. Prior to the issuance of a building permit for any new structure, or prior to the issuance of a plumbing permit to connect existing buildings to the water and sewer systems, the then-existing water system investment charge (connection charge), sewer system investment charge (connection charge) and water meter charge shall be paid to the City. The Lessee will also pay to the Central Wyoming Regional Water System Joint Powers Board the then current Regional Water System investment charge for each building to be served with water.
- Q. All necessary water and sewer easements, in forms acceptable to the City, up to and through the Development shall be obtained by the Lessee, which grant to the City the right of ingress and egress thereto for purposes of laying out, constructing, inspecting, maintaining and replacing water mains, sewer mains, fire hydrants, water service lines, and other appurtenances. Appropriate easements or utility rights-of-way shall be provided on all private streets within the subdivision for the water and sewer mains, fire hydrants, water service lines, and other appurtenances.
- R. Easements for all off-site utilities must be provided prior to application for a permit to construct being made to City.
- S. The Lessee agrees to abide by the rules and regulations of the City regarding the use of its water and sewer facilities, all relevant ordinances of the City of Casper relating to water and sewer service; and all other state and federal laws, rules, and regulations including, but not limited to, all provision of the Federal Pretreatment Regulations (40CFR, Part 403) and all City ordinances relating to industrial pretreatment.
- T. At such time as said water and/or sewer mains are installed by the Lessee and the work accepted by the City, the City shall reimburse the Lessee twice the difference in material cost between an 8-inch water and/or sewer main, or larger size if required by the development, and the required oversized main pursuant to Chapter 16.19 of the Casper Municipal Code, as amended. Such reimbursement will be determined by the City based upon its most recent applicable materials cost at the time of the Agreement execution. Reimbursement will only be based on oversizing of water and sewer mains larger than the size required by system analysis and approved by the City.
- U. In addition to and separate from the surety required for erosion control, the Lessee shall provide financial surety for construction of improvements to be owned by the City (water and sewer system improvements) and for the warranty period in accordance with one of the alternatives provided for in Chapter 16.28.070 of the Casper Municipal Code.

- V. The Lessee shall provide financial security as provided herein in order to assure that the required water distribution systems, and sewerage collection systems and any other required public improvements, as outlined in the Site Plan Agreement, are constructed in compliance with the City's specifications. The financial security for the construction of any such improvements shall be in the amount of one hundred percent (100%) of the total cost of construction thereof. This financial security shall be secured and delivered to the City prior to issuance of a permit to construct by the City.

- W. A project may be constructed without financial security as otherwise required herein provided that the Lessee/subdivider submits to the City a bonded Agreement between the Lessee and its contractor bonded by a Wyoming-licensed bonding company to complete the work covered by a permit to construct as outlined in the Subdivision Agreement. No permits will be issued for construction of buildings or foundations in the development until the improvements have been completed, a letter of completion has been issued, and the warranty period has begun pursuant to Section 16.28.050 of this chapter.

- X. Intentionally left blank.

- Y. The Lessee shall provide financial security to the City of Casper during the warranty period for the above-described public improvements. The financial surety shall be available to the City for the repair, maintenance, and replacement of such improvements that fail within the warranty period. The financial security during the warranty period shall be in the amount of twenty percent (20%) of the total construction costs of such improvements. This financial security for the warranty period of eighteen (18) months from the date stated in the letter of completion issued by the City shall be acquired and delivered to the City prior to issuance of any building permits in the subdivision by the City.

- Z. Forms of Financial Security.
 - 1. Financial security may be provided in one of the following forms:
 - a. An escrow agreement providing for the pledging of the Lessee's line of credit or other assets in an amount and form approved by the City;
 - b. Cash;
 - c. Surety bonds on forms provided by the City;
 - d. Unconditional letter of credit subject to the laws and courts of the State of Wyoming in a form approved by the City.

- AA. The Lessee's engineering consultant shall provide actual construction costs to the City for the purposes of determining the amount of the financial security for the construction phase and warranty period of the improvements. Should actual construction costs not be available to acquire the necessary financial security in a timely manner, the Lessee may rely on estimated construction costs as approved of by the City Engineer. All cost estimates shall be supported by documents of the proposed improvements. Construction costs shall cover and include water and sewer lines, as outlined in the Development's drawings and specifications.
- BB. The financial security will be released when that portion of the work or period to which it relates has been completed. All requests for release or reduction of a financial security shall be provided in writing to the City Engineer's office, 200 North David Street, Casper, Wyoming 82601. The City Engineer's office will review the request for release and provide a written response back to the Lessee/developer within ten (10) calendar days.

IV. OBLIGATIONS OF THE CITY:

The City shall issue a building permit pursuant to Title 15 of the Casper Municipal Code, under the terms of this Agreement and upon performance by the Lessee of the conditions set forth above. All building permits will be issued by the Community Development Director in accordance with Casper Municipal Code.

V. REMEDIES:

In the event the Lessee fails to do, or fails to cause to be done, any of the requirements set forth in this contract in an expeditious manner, the City may at its option, do any or all of the following:

- A. Refuse to issue a building permit or certificate of occupancy to the Lessee, its successors, or assigns in interest.
- B. After written notice to Lessee of those items which have not been completed or properly completed, and upon failure to cure the same by Lessee within a reasonable period of time, the City may complete any and all of the public improvements required by this contract, by itself, or by contracting with a third party to do the same. In the event the City elects to complete said improvements or contracts with third party to do so, the Lessee agrees to pay any and all costs resulting therefrom upon demand by the City.
- C. The remedies provided in this section are in addition to any other remedies specifically provided for in this Agreement, the property lease agreement, or which the City may otherwise have at law or in equity, and are not a limitation on the same. The Lessee further agrees to pay all the City's

reasonable attorney's fees, court costs, and litigation costs in the event the City is required to enforce the provisions of this Agreement in a court of law. This document, its interpretation, and enforcement shall be governed by the laws of the State of Wyoming.

VI. MISCELLANEOUS AGREEMENTS:

- A. Authority: All individuals executing this Agreement on behalf of their principals hereby state and certify that they have full authority to bind and obligate their principals to each and every term and provision of this Agreement.
- B. Successors and Assigns: This Agreement shall be binding upon and shall inure to the benefits of all parties hereto, their successors, and assigns.
- C. Wyoming Governmental Claims Act: The Parties do not waive any right or rights they may have pursuant to the Wyoming Governmental Claims Act, Wyoming Statute Sections 1-39-101, et seq. The Parties specifically reserve the right to assert any and all immunities, rights and defenses they may have pursuant to the Wyoming Governmental Claims Act.
- D. Governing Law and Venue: Any litigation regarding this Agreement shall be resolved in a court of competent jurisdiction situated in Natrona County, Wyoming.
- E. No Third-Party Beneficiary Rights: The parties to this Agreement do not intend to create in any other individual or entity the status of third-party beneficiary, and this Agreement shall not be construed so as to create such status. The rights, duties and obligations contained in this Agreement shall operate only between the parties to this Agreement, and shall inure solely to the benefit of the parties to this Agreement. The parties to this Agreement intend and expressly agree that only parties signatory to this Agreement shall have any legal or equitable right to seek to enforce this Agreement, to seek any remedy arising out of a party's performance or failure to perform any term or condition of this Agreement, or to bring an action for the breach of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this agreement on the day and year first written above.

APPROVED AS TO FORM:



Attorney for the City of Casper

ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation
Owner, as the Accommodating Party

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

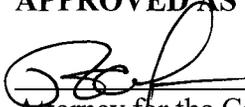
ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation
City, as the Site Plan Approval Authority

Tracey L. Belser
City Clerk

Liz Becher

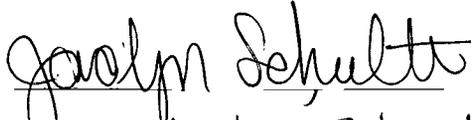
APPROVED AS TO FORM:



Attorney for the Casper Downtown
Development Authority

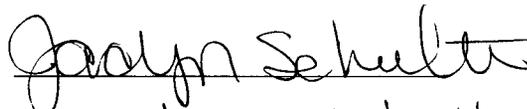
WITNESS:

LESSEE
Downtown Development Authority

By: 
Printed Name: Jaclyn Schulte
Title: Administrative Assistant

By: 

Kevin Hawley
Executive Director

By: 
Printed Name: Jaclyn Schulte
Title: Administrative Assistant

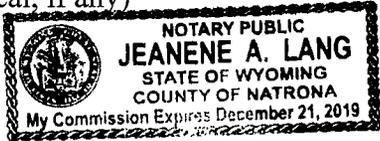
By: 

Brandon Daigle
Chairman of the Board of Directors

STATE OF WYOMING)
) ss.
COUNTY OF NATRONA)

This instrument was acknowledged before me on this 19th day of October, 2016, by Kevin Hawley, as the Executive Director of Board of Directors of the Downtown Development Authority of the City of Casper (also known as the Casper Downtown Development Authority) on its behalf as Lessee.

(Seal, if any)



Jeanene A. Lang
(Signature of notarial officer)

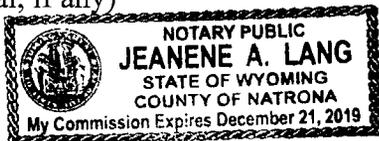
Notary Public
Title (and Rank)

[My Commission Expires: Dec 21, 2019]

STATE OF WYOMING)
) ss.
COUNTY OF NATRONA)

This instrument was acknowledged before me on this 19th day of October, 2016, by Brandon Daigle, as the Chairman of the Board of Directors of the Downtown Development Authority (also known as the Casper Downtown Development Authority) on its behalf as Lessee.

(Seal, if any)



Jeanene A. Lang
(Signature of notarial officer)

Notary Public
Title (and Rank)

Title (and Rank)

[My Commission Expires: Dec 21, 2019]

NOTES

TYPE	SHEET
GENERAL NOTES	L-1
GENERAL DEMOLITION NOTES	L-1
CONCRETE FINISH NOTES	L-6
SITE BOULDER NOTES	L-6
STONE WALL NOTES	L-6
DETAILED PLAZA LAYOUT NOTES	L-9
IRRIGATION NOTES	L-13
PLANTING NOTES	L-14

SITE FURNISHINGS

SYMBOL	NO.	TYPE	DESCRIPTION	SYMBOL	NO.	TYPE	DESCRIPTION
(Symbol)	14	TABLES WITH (4) CHAIRS BY OWNER	ROUND TABLE AND CHAIRS, SEE SPECIFICATIONS 7' DIAMETER MARKET UMBRELLA WTH 1-1/2" POLE FROM: WWW.UPBEAT.COM	(Symbol)	1	PERMANENT FIRE PIT	CUSTOM FABRICATION PER DETAIL 1, SHEET L-25.
(Symbol)	8	UMBRELLA BY OWNER		(Symbol)	3	SEASONAL FIRE PIT	CUSTOM FABRICATION PER DETAIL 1-2, SHEET L-25.
(Symbol)	8	WASTE RECEPTACLE	SPLIT STREAM TRASH & RECYCLING, SEE DETAIL 7, SHEET L-24.	(Symbol)	445LF	DASHER BOARDS & GATES	CUSTOM FABRICATION BY OTHERS
(Symbol)	7/5	DOUBLE AND SINGLE BIKE RACK	CUSTOM FABRICATION PER DETAIL 3, SHEET L-24.	(Symbol)	SEE SHT L-5	PER DASHER BOARD ANCHOR MANUFACTURER	RINK SYSTEMS, INC.
(Symbol)	9	PERMANENT BOLLARDS	CUSTOM FABRICATION PER DETAIL 6, SHEET L-24.	(Symbol)	4	TREE GRATES	CHINOOK URBAN ACCESSORIES, INC PER DETAIL 1, SHEET L-24.
(Symbol)	4	REMOVABLE BOLLARDS	CUSTOM FABRICATION PER DETAIL 6, SHEET L-24.	(Symbol)	4"	TRENCH DRAINS	DOUBLE WAVE: URBAN ACCESSORIES, INC PER DETAIL 4, SHEET L-19 & DETAIL 1, SHEET L-20.
(Symbol)	4	SEASONAL BENCHES BY OWNER	FLAT BENCH, SEE DETAIL 8, SHEET L-24	(Symbol)	48LF	STRAIGHT	
				(Symbol)	±116LF	18'-6" INSIDE RADIUS	
				(Symbol)	±121LF	19'-4" INSIDE RADIUS	

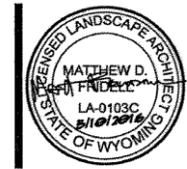
LIGHTING LEGEND (SEE SHEET 16, ELECTRICAL PLANS)

SYMBOL	TYPE	DESCRIPTION
(Symbol)	STRING LIGHT	SEE ELECTRICAL FOR SPECIFICATIONS AND PROMENADE POST DETAIL FOR END CONNECTIONS
(Symbol)	FLOOD LIGHT	SEE ELECTRICAL FOR SPECIFICATIONS AND PROMENADE POST DETAIL FOR MOUNTING
(Symbol)	LANDSCAPE UPLIGHT (SHOWN ON L-4 AND L-5 ONLY)	SEE ELECTRICAL PLANS, FINAL LAYOUT TO BE APPROVED IN FIELD WITH BOTH LIGHT AND TREE LOCATION STAKING MOUNTED IN CONCRETE OR WALL WHERE SPECIFIED PER ELECTRICAL PLANS
(Symbol)	STEP LIGHT	
(Symbol)	AUDIO (SPEAKER)	MOUNTED TO PROMENADE POST PER DETAILS AND AV/PLANS

811 Know what's below. Call before you dig.

Use One Call of Wyoming to locate underground utilities before you dig. Excavators planning to dig, drill or trench should make the required locate request to One Call of Wyoming two working days before the planned work.

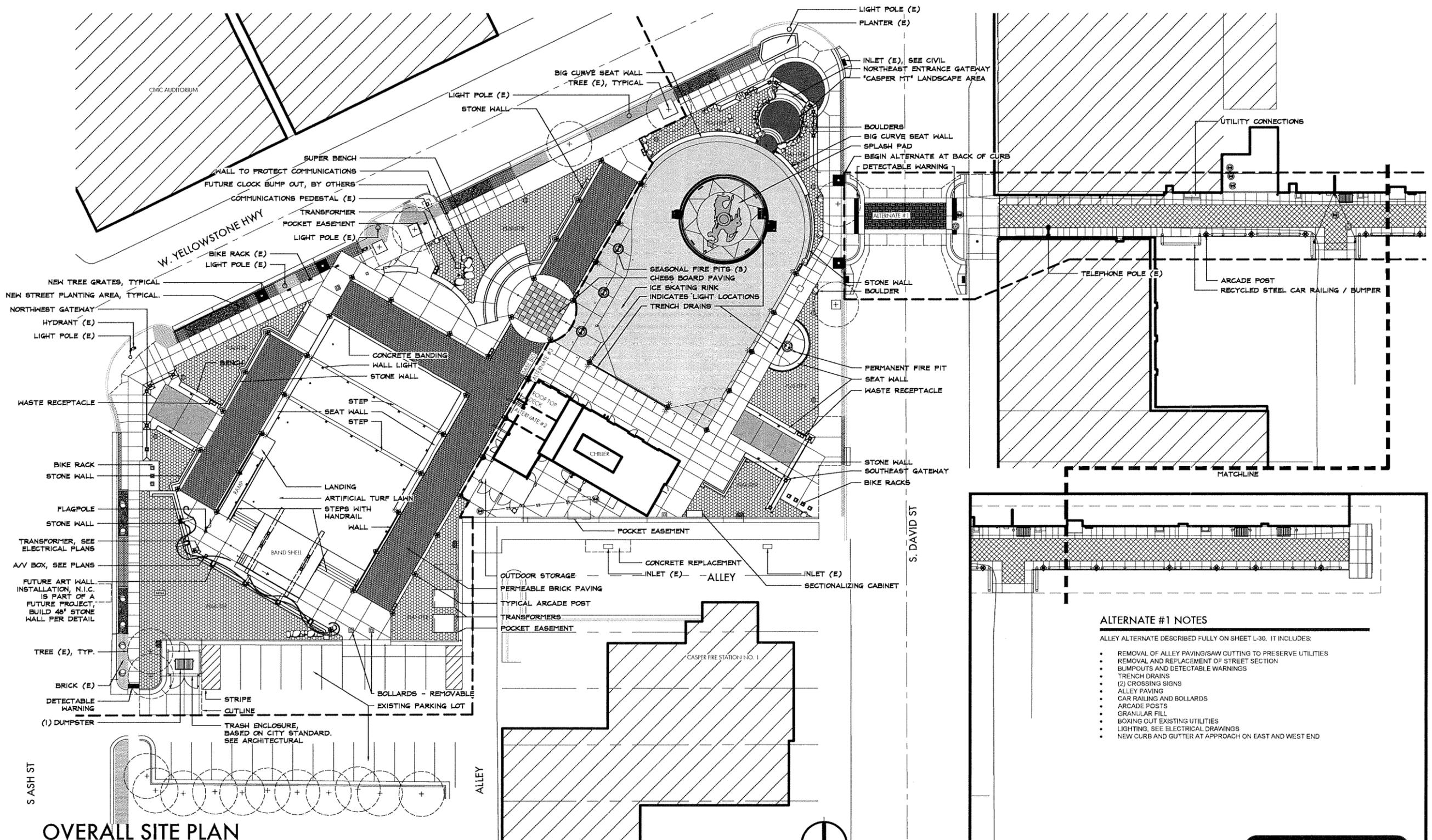
Make your locate requests by simply calling 811 (in-state) and 1-800-849-2476 outside of Wyoming. Locate requests are accepted 24/7. The One Call service is free. www.onecallwyoming.com



DAVID STREET STATION
200 SOUTH DAVID STREET
CASPER, WYOMING 82601

TALLGRASS
Landscape Architecture, Inc.
200 South David Street
Casper, WY 82601
307.235.8111
TALLGRASSLANDSCAPEARCHITECTURE.COM

Stateline No. 7
ARCHITECTS
1000 Broadway Street
Casper, WY 82601
307.235.8111
STATELINEARCHITECTS.COM
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ALTERNATE #1 NOTES

ALLEY ALTERNATE DESCRIBED FULLY ON SHEET L-30. IT INCLUDES:

- REMOVAL OF ALLEY PAVING/SAW CUTTING TO PRESERVE UTILITIES
- REMOVAL AND REPLACEMENT OF STREET SECTION
- BUMPOUTS AND DETECTABLE WARNINGS
- TRENCH DRAINS
- (2) CROSSING SIGNS
- ALLEY PAVING
- CAR RAILING AND BOLLARDS
- ARCADE POSTS
- GRANULAR FILL
- BOXING OUT EXISTING UTILITIES
- LIGHTING, SEE ELECTRICAL DRAWINGS
- NEW CURB AND GUTTER AT APPROACH ON EAST AND WEST END

OVERALL SITE PLAN

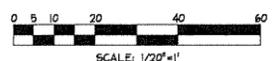


EXHIBIT
A (1 of 11)

PROJECT NUMBER
15-015

DATE
MAY 10, 2016

DRAWN BY
TALLGRASS

DISK ID.
Y:\Projects\2015-028-Casper Plaza\07-CD-100%\OVERALL SITE PLAN.dwg

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER



Use One Call of Wyoming to locate underground utilities before you dig. Excavators planning to dig, drill or trench should make the required locate request to One Call of Wyoming two working days before the planned work.

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DAVID STREET STATION
200 SOUTH DAVID STREET
CASPER, WYOMING 82601

TALLGRASS
Landscape Architecture
2500 B. LITTLE BLVD. #200
CASPER, WYOMING 82601
PH: 307.233.8888
WWW.TALLGRASSARCHITECTURE.COM
TALLGRASSLANDSCAPEARCHITECTURE.COM

Stateline No. 7
ARCHITECTS
1000 1/2 S. 2nd Street
Casper, WY 82601
307.233.8888
www.stateline7.com

PROJECT NUMBER
15-015

DATE
MAY 10, 2016

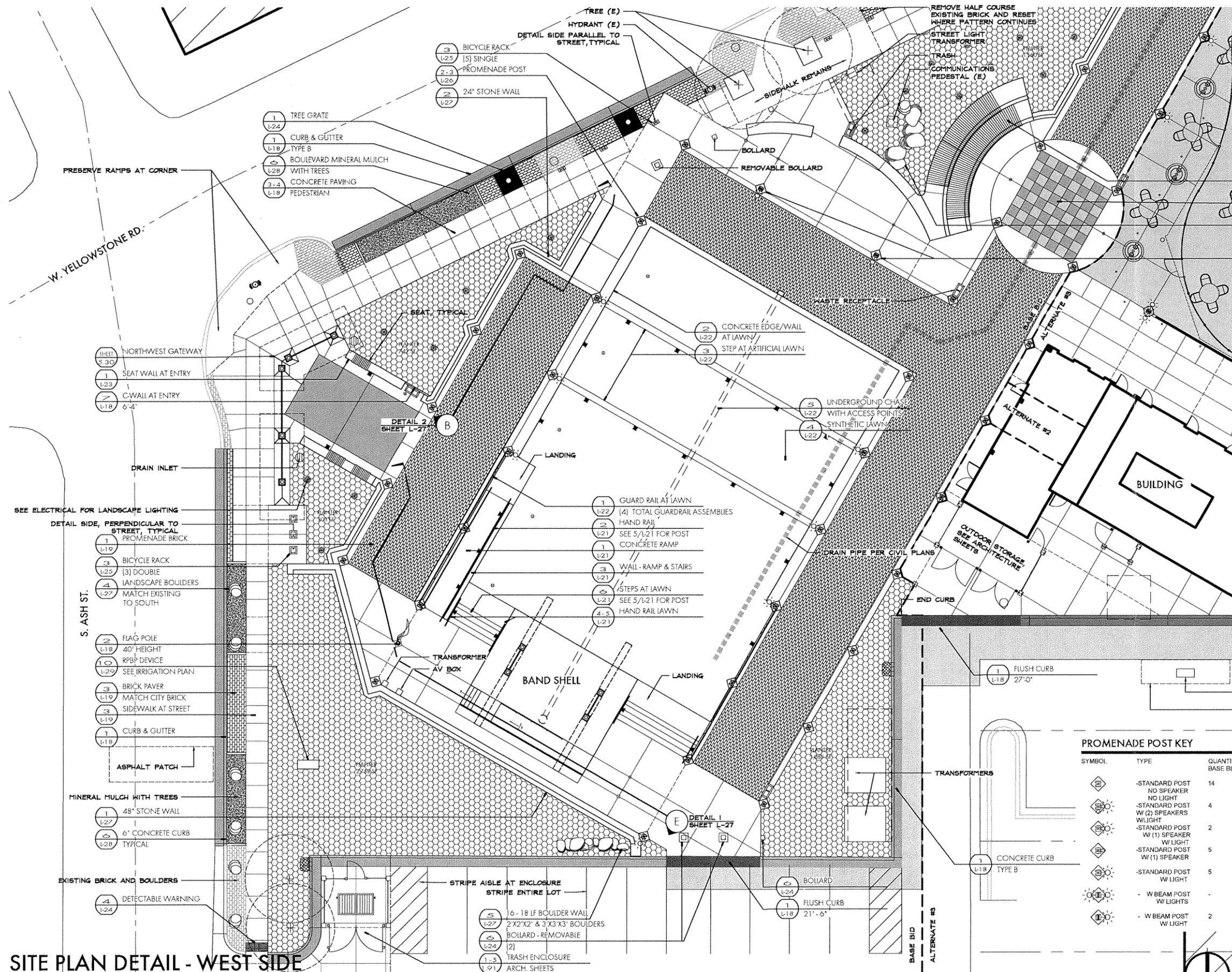
DRAWN BY
TALLGRASS

DISK ID.
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SHEET TITLE
SITE PLAN DETAIL 01

SHEET NUMBER

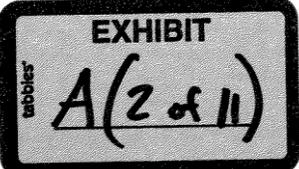
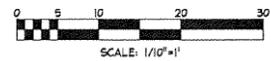
L-4



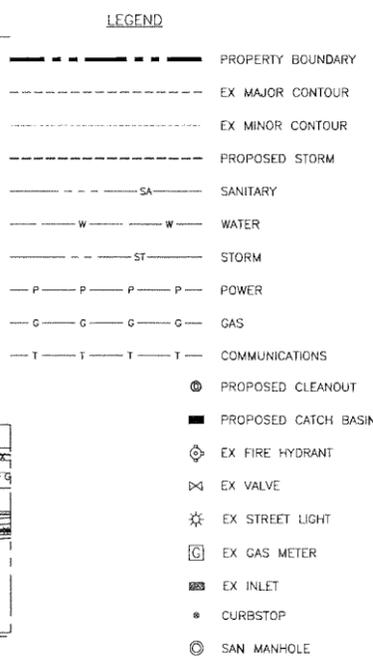
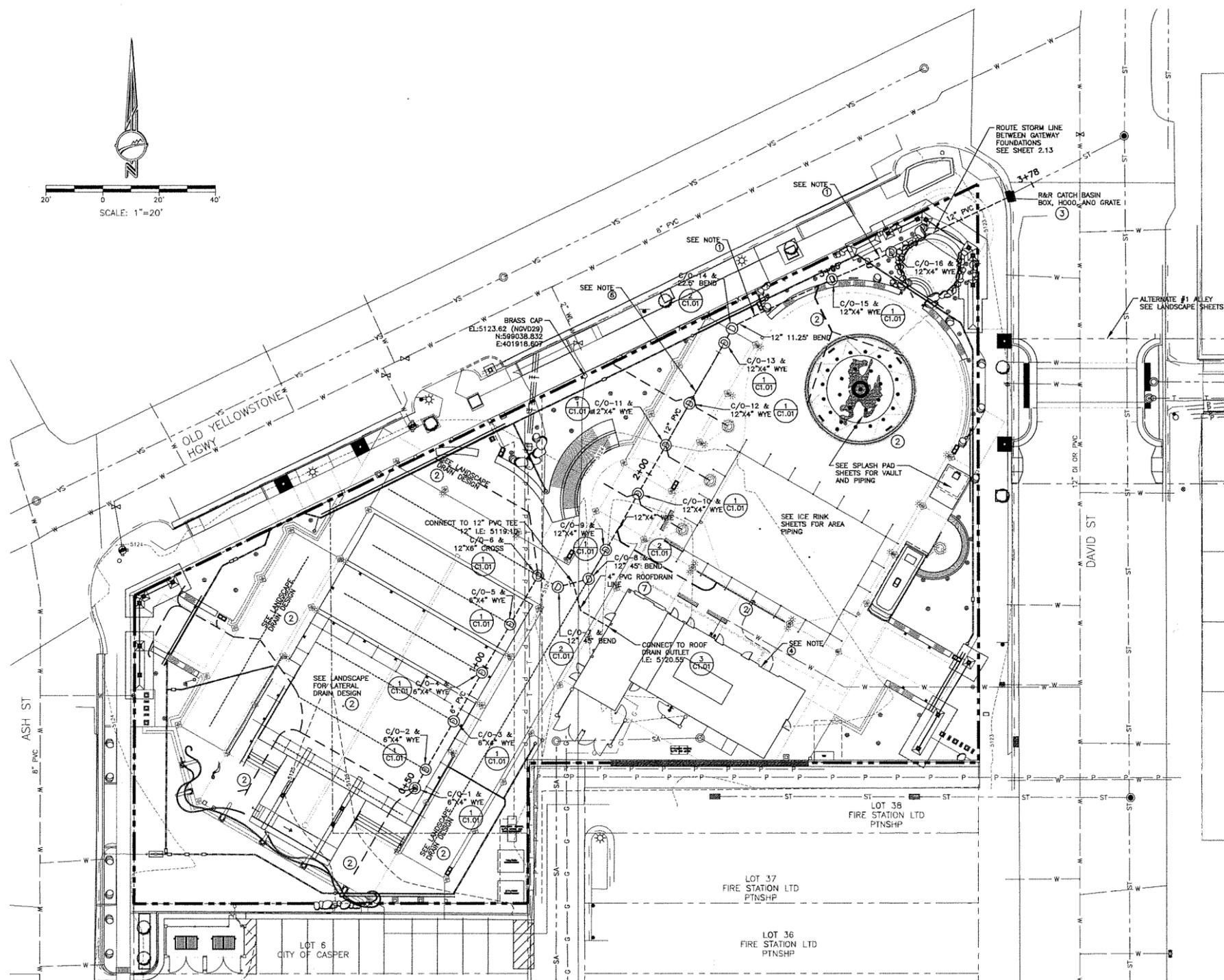
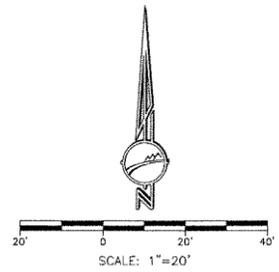
PROMENADE POST KEY

SYMBOL	TYPE	QUANTITY BASE BID	QUANTITY ALT #3	QUANTITY ALT #1	QUANTITY TOTAL
⊕	-STANDARD POST NO SPEAKER NO LIGHT	14	1	9	24
⊕	-STANDARD POST W (2) SPEAKERS W/LIGHT	4	-	-	4
⊕	-STANDARD POST W (1) SPEAKER W/LIGHT	2	2	-	4
⊕	-STANDARD POST W (1) SPEAKER	5	1	-	6
⊕	-STANDARD POST W LIGHT	5	-	-	5
⊕	- W BEAM POST W LIGHTS	-	2	-	2
⊕	- W BEAM POST W LIGHT	2	-	-	2

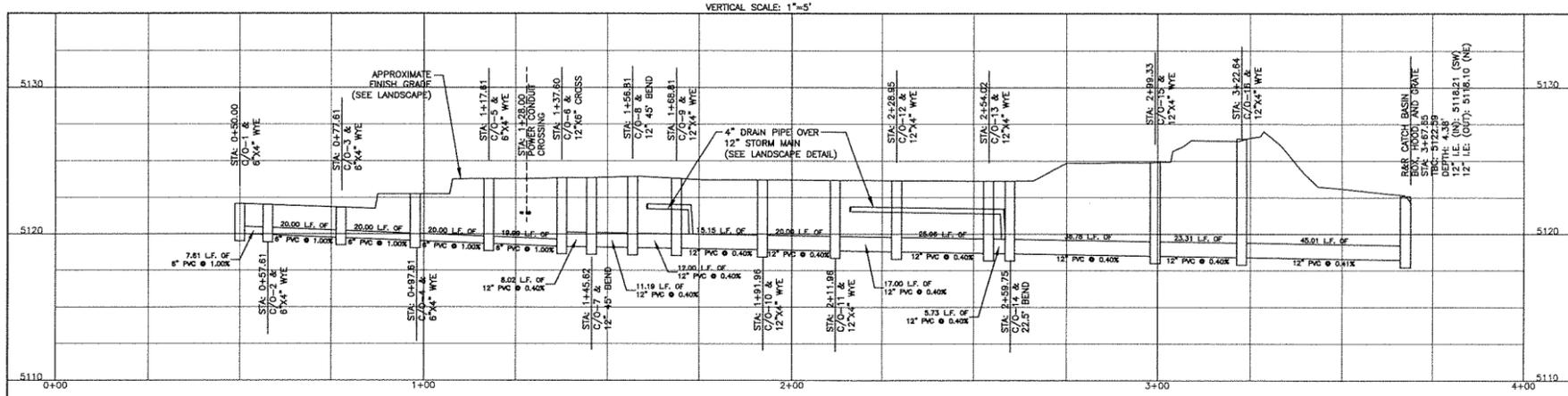
SITE PLAN DETAIL - WEST SIDE



Structure Table	
Structure Name	Structure Details
C/O-1 & 6"x4" WYE	RM: 5122.08 N:598891.955 E:401858.363 6" PVC INV OUT = 5120.01
C/O-2 & 6"x4" WYE	RM: 5122.01 N:598938.546 E:401862.169 6" PVC INV IN = 5119.93 6" PVC INV OUT = 5119.93
C/O-3 & 6"x4" WYE	RM: 5121.83 N:598915.866 E:401872.169 6" PVC INV IN = 5119.73 6" PVC INV OUT = 5119.73
C/O-4 & 6"x4" WYE	RM: 5122.75 N:598933.187 E:401882.169 6" PVC INV IN = 5119.53 6" PVC INV OUT = 5119.53
C/O-5 & 6"x4" WYE	RM: 5123.78 N:598950.507 E:401892.169 6" PVC INV IN = 5119.33 6" PVC INV OUT = 5119.33
C/O-6 & 12"x6" CROSS	RM: 5123.86 N:598967.818 E:401902.163 6" PVC INV IN = 5119.13 12" PVC INV OUT = 5119.13
C/O-7 & 12" 45' BEND	RM: 5123.85 N:598963.788 E:401909.097 12" PVC INV IN = 5119.10 12" PVC INV OUT = 5119.10
C/O-8 & 12" 45' BEND	RM: 5123.93 N:598968.854 E:401919.914 12" PVC INV IN = 5119.06 12" PVC INV OUT = 5119.06
C/O-9 & 12"x4" WYE	RM: 5123.81 N:598977.018 E:401925.966 12" PVC INV IN = 5119.01 12" PVC INV OUT = 5119.01
C/O-10 & 12"x4" WYE	RM: 5123.70 N:598987.061 E:401937.644 12" PVC INV IN = 5118.92 12" PVC INV OUT = 5118.92
C/O-11 & 12"x4" WYE	RM: 5123.68 N:599014.369 E:401947.365 12" PVC INV IN = 5118.84 12" PVC INV OUT = 5118.84
C/O-12 & 12"x4" WYE	RM: 5123.65 N:599029.088 E:401956.063 12" PVC INV IN = 5118.77 12" PVC INV OUT = 5118.77
C/O-13 & 12"x4" WYE	RM: 5123.63 N:599050.792 E:401968.594 12" PVC INV IN = 5118.67 12" PVC INV OUT = 5118.67
C/O-14 & 22.5' BEND	RM: 5123.62 N:599055.849 E:401971.296 12" PVC INV IN = 5118.65 12" PVC INV OUT = 5118.64
C/O-15 & 12"x4" WYE	RM: 5124.91 N:599073.347 E:402006.741 12" PVC INV IN = 5118.49 12" PVC INV OUT = 5118.49
C/O-16 & 12"x4" WYE	RM: 5126.50 N:599083.048 E:402027.938 12" PVC INV IN = 5118.39 12" PVC INV OUT = 5118.39
R&R CATCH BASIN BOX, HOOD, AND GRATE	RM: 5122.59 N:599102.315 E:402058.614 12" PVC INV IN = 5118.21



- NOTES:**
- 1 STORM PIPE INSTALLATION FROM STATION 2+75 TO 3+70 MAY ENCOUNTER LEAN CONCRETE FILL MATERIAL. ALL LEAN CONCRETE FILL MATERIAL REMOVED FOR INSTALLATION SHALL BE DISPOSED OF AT CONTRACTORS EXPENSE.
 - 2 SEE LANDSCAPE DRAINAGE PLAN SHEET FOR ALL SITE DRAINAGE DESIGN INCLUDING TRENCH DRAINS, AREA DRAINS, LAWN AREA DRAIN LINES, AND PERMEABLE BRICK UNDER DRAIN.
 - 3 ROW SURFACING REMOVAL FOR CATCH BASIN INSTALLATION SHALL BE COORDINATED TO ENSURE ALL ASPHALT, SIDEWALK AND CURB AND GUTTER IS REPLACED IMMEDIATELY.
 - 4 SEE ARCHITECTURAL DRAWINGS FOR BUILDING PERIMETER DRAIN (ALTERNATE #3)
 - 5 C/O RIM ELEVATIONS ARE APPROXIMATE. REFER TO GRADE ELEVATION ON LANDSCAPE DRAWINGS.
 - 6 ALL STORM MAIN LINE SHOWN ON THIS SHEET SHALL BE INSTALLED AS PART OF THE BASE BID. LATERAL LINES SHALL BE STUBBED OUT 15.0' AT ALL LOCATIONS.
 - 7 INSTALL ROOF DRAIN LINE UP TO FUTURE BUILDING.
 - 8 REFER TO SHEET 0.20 FOR BASE BID AND ALTERNATE DELINEATION.



DAVID STREET STATION
200 SOUTH DAVID STREET
CASPER, WYOMING 82601



PROJECT NUMBER
15-015

DATE
MAY 10, 2016

DRAWN BY
JLS

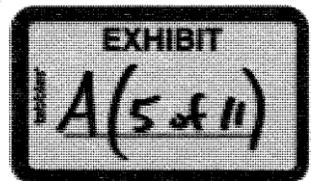
DISK ID.

SHEET TITLE
CIVIL STORM DRAINAGE



SHEET NUMBER

1.03



MISC SURFACES FINISH SCHEDULE

SYMBOL	SQ. FT.	DESCRIPTION
[Symbol]	434 SF ALT. #1	ALTERNATE 1 CROSSWALK BRICK: SEE CIVIL
[Symbol]	522 SF BASE BID 211 SF ALT. #3	CITY STANDARD BRICK PAVERS: OLD TOWN BLEND COLOR TO MATCH ADJACENT EXISTING BRICKS
[Symbol]	5,943 SF BASE BID	PERMEABLE BRICK PAVERS: 8CM BRICKSTONE PERMEABLE "SEDONA" FROM WILLOW CREEK PERMEABLE PAVERS WILLOWCREEKPAVINGSTONES.COM
[Symbol]	5,545 SF BASE BID	SYNTHETIC LAWN: SYNTIPEDE 354 OVER ULTRABASE SYSTEMS CHAMPION PANEL FROM SYNLAWN OF SOUTH DAKOTA, RAPID CITY, SD. SMARTLAWN, LLC OFFICE: 605.340.0563
[Symbol]	537 SF ALT. #3	CASPER MT. ENTRANCE BRICK PAVERS: 8CM BRICKSTONE TRADITIONAL TEXTURED "SEDONA" FROM WILLOW CREEK PAVERS WILLOWCREEKPAVINGSTONES.COM
[Symbol]	3,098 SF ALT. #1	ALLEY STREET PAVING (TYPE 6 CONCRETE).
[Symbol]	8,309 SF BASE BID 2,555 SF ALT. #3	LANDSCAPE MULCH SEE PLANTING PLANS

CONCRETE FINISH SCHEDULE

SYMBOL	SQ. FT.	DESCRIPTION
[Symbol]	6,590 SF BASE BID 7,476 SF ALT. #3 1,187 SF ALT. #1	TYPE 1A: STANDARD SIDEWALKS, 4" CONCRETE OVER 4" BASE, MEDIUM BROOM FINISH, COLOR TO BE STANDARD GREY TYPE II CONCRETE. SEE DETAILS 3 (CONCRETE PAVING) & 4 (TYPICAL CONCRETE JOINTING) ON SHEET L-18.
[Symbol]	1,803 SF BASE BID 1,450 SF ALT. #3 3,454 SF ALT. #1	TYPE 1B: STANDARD VEHICULAR PAVING, 5" CONCRETE OVER 8" BASE, MEDIUM BROOM FINISH, COLOR TO BE STANDARD GREY TYPE II CONCRETE. SEE DETAILS 3 (CONCRETE PAVING) & 4 (TYPICAL CONCRETE JOINTING) ON SHEET L-18.
[Symbol]	174 SF BASE BID 3,950 SF ALT. #3	TYPE 2A: 5" CONCRETE OVER 8" BASE OUTSIDE ICE RINK (SEE ICE RINK PLANS FOR CROSS SECTION), DECORATIVE PAVING "DRY WYOMING", FINE BROOM FINISH, COLOR TO BE DAVIS COLORS "EASTERN TAN" # 6122Z
[Symbol]	174 SF BASE BID 3,380 SF ALT. #3	TYPE 2B: DECORATIVE PAVING "DRY BLASTED WYOMING", SAME SECTION AS ABOVE, FINE BROOM FINISH, COLOR TO BE DAVIS COLORS "EASTERN TAN" # 6122Z, LIGHT SANDBLASTED FINISH.
[Symbol]	239 SF ALT. #3	TYPE 3: DECORATIVE PAVING "DARK BAND" PER DETAIL, MEDIUM BROOM FINISH, COLOR TO BE DAVIS COLORS "DARK GREY (IRON OXIDE)" # 850
[Symbol]	406 SF BASE BID 390 SF ALT. #3	TYPE 4: DECORATIVE PAVING "HORIZON" SEE SPRAY PAD SECTIONS FOR CROSS SECTION, MEDIUM BROOM FINISH, COLOR TO BE DAVIS COLORS "KAILUA" # 677
[Symbol]	628 SF ALT. #3 INCLUDES 5B	TYPE 5A: DECORATIVE PAVING "SUNSET" SEE SPRAY PAD SECTIONS FOR CROSS SECTION, MEDIUM BROOM FINISH, COLOR TO BE DAVIS COLORS "SPANISH GOLD" # 5084
[Symbol]	157 SF ALT. #3	TYPE 5B: DECORATIVE PAVING "STEAMBOAT", STAINED USING LITTECHROME® TINTURA™ STAIN OLD HICKORY #1406 FROM SCOFIELD

CONCRETE JOINTING SCHEDULE

[Symbol]	EXPANSION	EXPANSION JOINTS SHALL BE 24" O.C. (MAX.) AND OTHERWISE AS SHOWN ON PLANS. EXPANSION JOINT SEALANT COLOR SHALL BE SELECTED FROM FULL MANUFACTURER'S RANGE.
[Symbol]	CONTROL	CONTROL JOINTS SHALL BE AS SHOWN ON PLANS. USE TOOLED JOINTS IN STANDARD WALKS, SAWCUT JOINT IN DECORATIVE PAVING
[Symbol]	COLD JOINT	PROVIDE EXPANSION JOINTS WHERE APPROPRIATE.

CONCRETE FINISH NOTES:

- PUBLIC SIDEWALK AND DRIVEWAY APRONS TO BE BROOM FINISHED TO CITY STANDARDS, EXCEPT AS NOTED.
- ALL CONCRETE STAMPS AND COLORS TO BE PRESENTED TO LANDSCAPE ARCHITECT, ARCHITECT, AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- SUPPLY TEAM WITH AN INITIAL 4'X4' SAMPLE SHOWING COLOR AND TEXTURE OF EACH DECORATIVE PAVING TYPE PRIOR TO INSTALLATION FOR APPROVAL. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ONE ADDITIONAL SAMPLE FOR EACH TYPE IF INITIAL SAMPLE IS REJECTED FOR ANY REASON.
- SEE SPLASH PAD PLANS FOR COLD JOINT IN SPLASH PAD CONCRETE.
- ALL CONCRETE IN SPLASH PAD, TYPES 3, 4, 5, AND 5A TO BE SEALED WITH SCOFIELD® SELECTSEAL PLUS™ A WATER-BASED CLEAR SEALER WITH VOC < 100 G/ WITH SCP POLY GRIP ANTI-SKID SEALER ADDITIVE AT A RATE OF 6-8 OUNCES PER 5 GALLONS OF SEALER. (WYOMING COWBOY)



Use One Call of Wyoming to locate underground utilities before you dig. Excavators planning to dig, drill or trench should make the required locate request to One Call of Wyoming two working days before the planned work.

Make your locate requests by simply calling 811 (in-state) and 1-800-849-2476 outside of Wyoming. Locate requests are accepted 24/7. The One Call service is free. www.onecallofwyoming.com



DAVID STREET STATION
200 SOUTH DAVID STREET
CASPER, WYOMING 82601

TALLGRASS
Landscape Architecture
200 South David Street
Casper, WY 82601
307.245.9171
www.tallgrassarch.com
TALLGRASSLANDSCAPEARCHITECTURE.COM

Stateline No. 7
ARCHITECTS
200 South David Street
Casper, WY 82601
307.245.9171
www.stateline7.com
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MAY 10, 2016

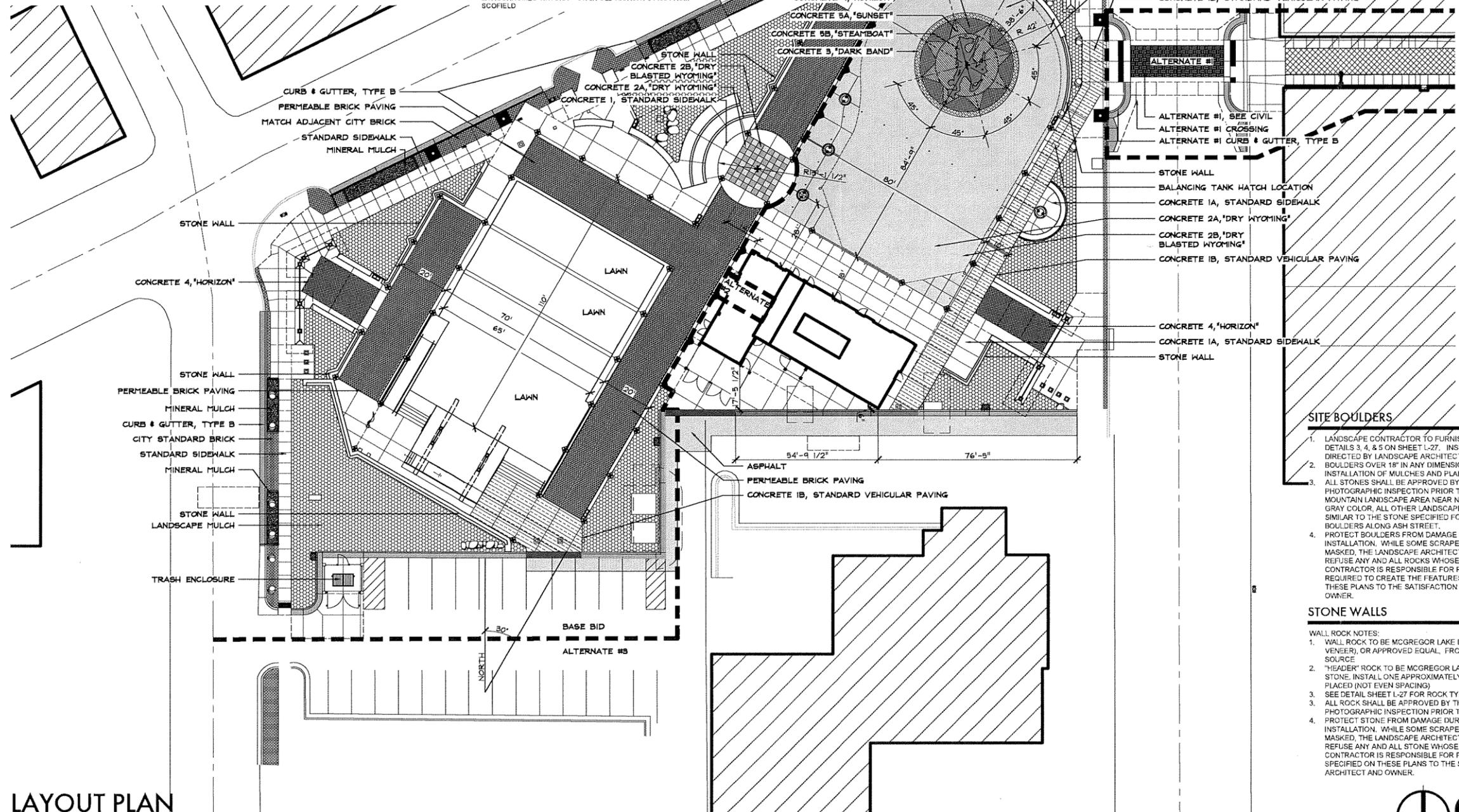
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SHEET TITLE
LAYOUT PLAN

SHEET NUMBER

L-6



LAYOUT PLAN

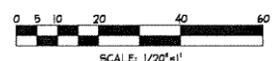


EXHIBIT
tabbles A(6 of 11)

PLANTING NOTES

GENERAL PLANTING REQUIREMENTS

- SEE DETAIL SHEET FOR LANDSCAPE AND PLANTING DETAILS & SEE PROJECT MANUAL FOR LANDSCAPE SPECIFICATIONS.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION. SOURCE OF BASE SHEETS IS PROJECT ARCHITECT'S AND ENGINEER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION OR THE INADVERTENT OMISSION OF ANY SUCH INFORMATION. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION FOR MARKOUTS OF EXISTING UNDERGROUND FACILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO ANY UTILITIES CAUSED BY HIS/HER PROJECT OPERATIONS. NO CONSTRUCTION SHALL COMMENCE WITHOUT PRIOR APPROVAL OF THE SUPERVISING LANDSCAPE ARCHITECT, ENGINEER OR ARCHITECT.
 - THE CONTRACTOR SHALL MAINTAIN REASONABLE ACCESS TO ALL PRIVATE DRIVEWAYS, PARKING AREAS AND AREAS THAT REQUIRE PUBLIC ACCESS DURING CONSTRUCTION.
 - REFER TO UTILITY, GRADING, AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. REFER TO GRADING PLANS FOR GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
 - VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
 - CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- SCHEDULING**
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PLANT MATERIALS WITHIN 15 DAYS AFTER AWARD OF CONTRACT. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS TO BE CONTRACT GROWN OR OTHERWISE OBTAINED FROM A CERTIFIED NURSERY. NOTIFY LANDSCAPE ARCHITECT OF ALL PLANT MATERIAL "TIED OFF" FOR THE OPTION OF REVIEWING FOR APPROVAL AT THE CONTRACTOR'S SELECTED NURSERY.
 - IF SPECIFIED MATERIAL IS NOT OBTAINABLE, SUBMIT TO LANDSCAPE ARCHITECT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBMIT PHOTOGRAPHS OF ALTERNATIVE CHOICES OF PLANT MATERIAL FOR SELECTION BY LANDSCAPE ARCHITECT. INCLUDED WITH THESE PHOTOGRAPHS SHOULD BE CLEAR, WRITTEN DESCRIPTION OF THE TYPE, SIZE, CONDITION, AND GENERAL CHARACTER OF THE PLANT MATERIAL.

SOIL CONDITIONING

- ALL PLANTING AREAS REQUIRE REMOVAL OF SITE BACK FILL, BASE MATERIAL, ANY CONSTRUCTION WASTE MATERIAL AND SOIL TO 12" BELOW ORIGINAL SOIL SURFACE, EXCEPT WITHIN 12" OF CURB, PER DETAILS. SCARIFY THE EARTHEN SUBGRADE AND FILL PER GRADING AND SOILS PLANS AND SPECIFICATIONS.
- SEE SOIL CONDITIONING AND LANDSCAPE SURFACING PLAN FOR SOIL REQUIREMENTS AND FINISHED SURFACING.
- EXCAVATED SITE SOILS MAY BE SUITABLE FOR A PORTION OF PLANTING SOIL MIXTURE. SEE SOIL SPECIFICATIONS.

PLANTING

- QUANTITIES SHOWN IN THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR & FOR OWNER INFORMATION. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE QUANTITY OF PLANTS SHOWN GRAPHICALLY ON THE PLANS. IN THE CASE OF A DISCREPANCY THE PLANS SHALL OVERRULE THE LEGEND, EXCEPT PLANTS SPECIFICALLY NOTED AS "NOT SHOWN ON PLAN." VERIFY PLANT COUNTS AND SQUARE FOOTAGES.
- EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE TRANSPLANTING.
- TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, OR PAVEMENT, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
- PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.
- ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS TREES AND SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.
- FINISH GRADES OF PLANTER AREAS SHALL BE 2 INCHES BELOW ADJACENT PAVING OR TOP OF WALL UNLESS OTHERWISE NOTED.
- REMOVE ENTIRE WIRE CAGE FROM ROOTBALL. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.
- LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.

OTHER MATERIALS

- PLACE ROCK MULCH IN A MANNER THAT MINIMIZES RISK TO PLANTED MATERIAL. DAMAGE FROM MULCH PLACEMENT WILL REQUIRE REPLACEMENT OF DAMAGED MATERIAL.

SOIL ANALYSIS AND AMENDMENT

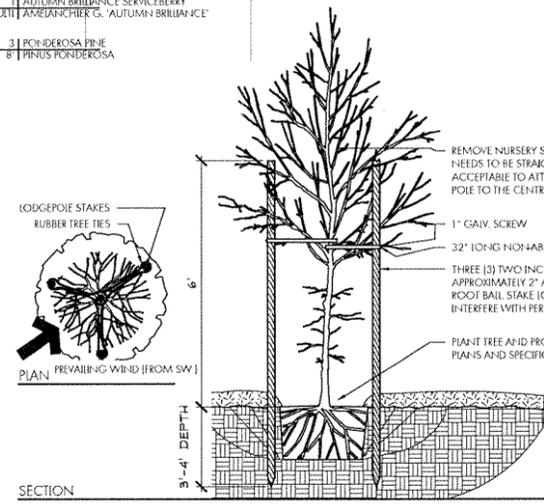
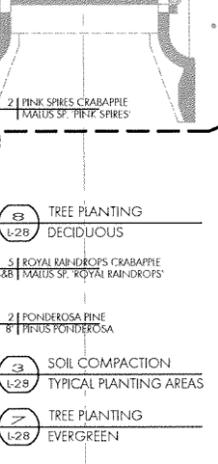
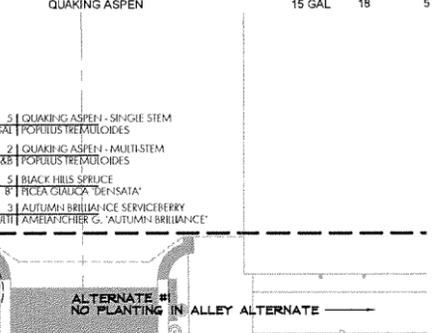
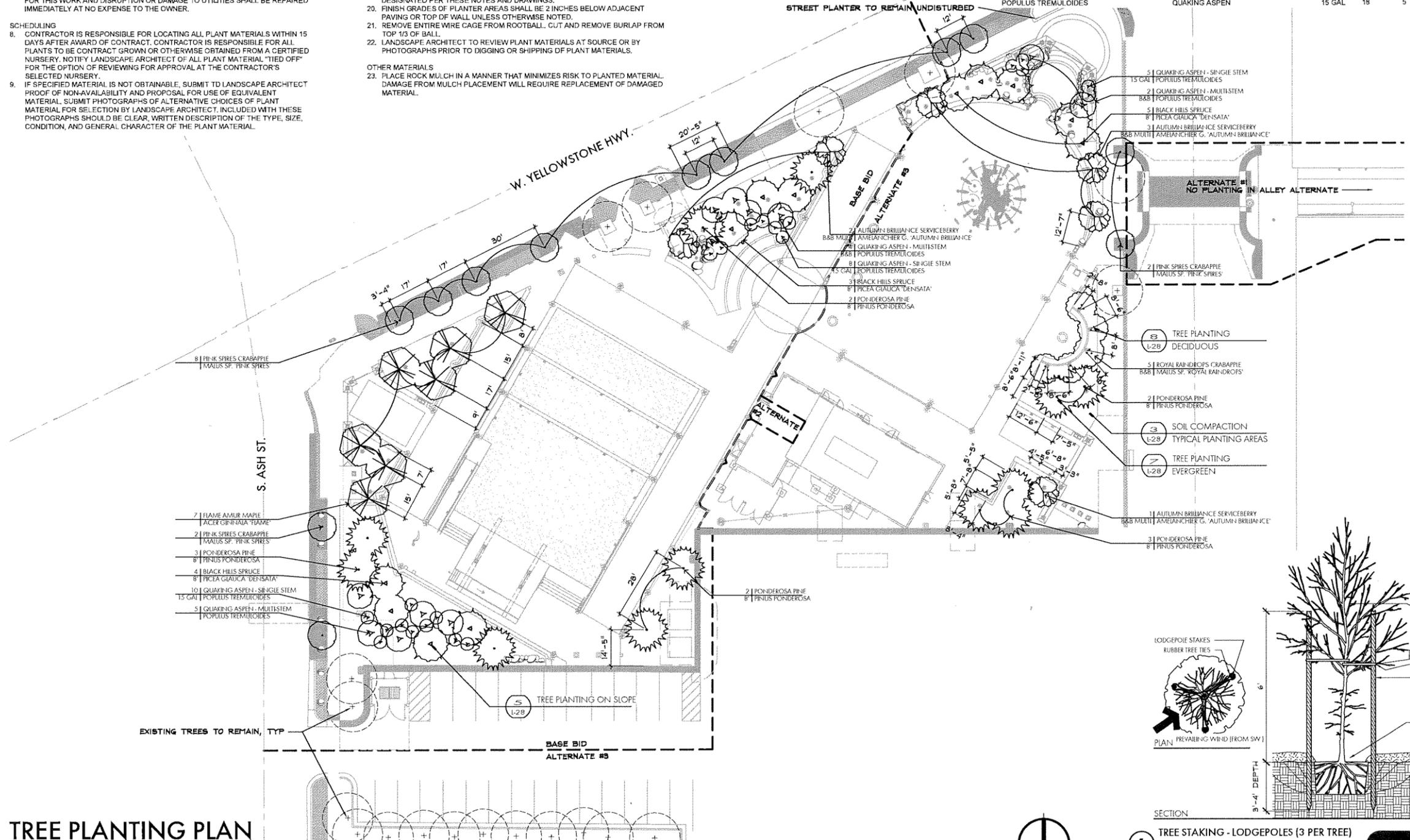
- AFTER ROUGH GRADING HAS BEEN COMPLETED, CONTRACTOR SHALL SUBMIT SAMPLES OF TOPSOIL, COMPOST, & LEAN CLAY SOILS TO A TESTING LABORATORY FOR LANDSCAPE SUITABILITY. SEE SPECIFICATIONS.
- THE SAMPLES SHALL BE COLLECTED FROM MULTIPLE LOCATIONS WITHIN THE PROJECT SITE FOR EACH TYPE OF SAMPLE. SAMPLE LOCATIONS SHALL BE NOTED ON PLANS FOR FUTURE REFERENCE. SEE SPECIFICATIONS FOR SOIL SAMPLING REQUIREMENTS.
- PROCEDURE FOR COLLECTING SAMPLES SHALL BE AS RECOMMENDED BY THE TESTING LABORATORY.
- SOIL ANALYSIS SHALL BE IDENTIFIED IN SPECIFICATIONS.
- RESULTS OF SOIL ANALYSIS SHALL BE SUBMITTED TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW, ALONG WITH CONTRACTOR'S PROPOSAL FOR AMENDMENT OF THE PLANTING SOILS.
- SOIL AMENDMENT PROPOSAL SHOULD ADDRESS THE NEEDS IDENTIFIED IN THE ANALYSIS EITHER BY FOLLOWING THE RECOMMENDATIONS DIRECTLY, OR BY PROVIDING WRITTEN SPECIFICATIONS THAT CLEARLY DEMONSTRATE THE ABILITY OF THE MATERIALS PROPOSED TO MEET THE NEEDS OF THE SOIL.

MULCHES

- PROVIDE 3" DEPTH ORGANIC MULCH PER SPECIFICATIONS FOR ALL PLANTING AREAS EXCEPT IN TREE GRATES, STREET TREE PLANTING BEDS, AND IN SMALL AREAS AROUND MOUNTAIN SCENE BOULDER PLACEMENT PER DETAILS.
- TREE GRATE PLANTERS TO RECEIVE 3" DEPTH PEA GRAVEL MULCH.
- STREET TREE PLANTERS TO RECEIVE 3" DEPTH 3/8" MINUS CRUSHED STONE MULCH.
- MOUNTAIN SCENE BOULDER AREAS TO RECEIVE ROCK CHIP MULCH GATHERED DURING BOULDER INSTALLATION & MADE FROM THE SAME STONES.
- NO WEED BARRIER IS TO BE INSTALLED IN ANY PLANTING AREA.

PROJECT TREE SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	BASE BID	ALT #3
TREES					
ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B&B	7	0	
AMELANCHIER X G. 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B&B	2	4	
MALUS SP 'PINK SPIRES'	PINK SPIRES CRABAPPLE	B&B	8	4	
MALUS SP 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	B&B	0	5	
	BLACK HILLS SPRUCE	B'	7	5	
PINUS PONDEROSA	PONDEROSA PINE	B'	7	5	
POPULUS TREMULOIDES	QUAKING ASPEN	B'B	9	2	
		15 GAL	18	5	



TREE PLANTING PLAN

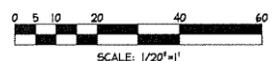


EXHIBIT
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DAVID STREET STATION
200 SOUTH DAVID STREET
CASPER, WYOMING 82601

TALGRASS
ARCHITECTS
100 WEST 15TH AVENUE
SUITE 200
CASPER, WYOMING 82601
TEL: 307.234.1111
WWW.TALGRASSARCHITECTURE.COM

Stateline No. 7
ARCHITECTS
100 WEST 15TH AVENUE
SUITE 200
CASPER, WYOMING 82601
TEL: 307.234.1111
WWW.STATELINE7ARCHITECTS.COM

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SHEET TITLE
PLANTING PLAN

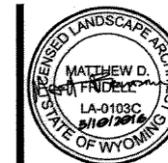
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Use One Call of Wyoming to locate underground utilities before you dig. Excavation planning to dig, drill or trench should make the required locate request to One Call of Wyoming two working days before the planned work.

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DAVID STREET STATION
200 SOUTH DAVID STREET
CASPER, WYOMING 82601

TALLGRASS
Landscape Architecture
200 South David Street
Casper, WY 82601
307.234.1174
www.tallgrassla.com

Stateline No. 7
ARCHITECTS
100 South Casper Street
Casper, WY 82601
307.234.1174
www.stateline7.com

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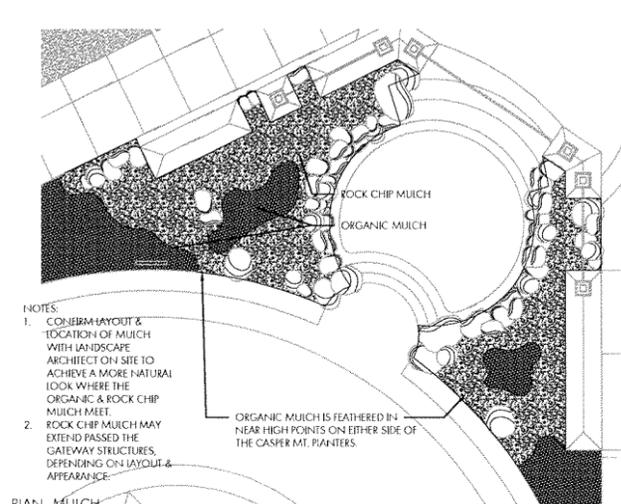
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SHEET TITLE
NORTH PLANTING PLAN

SHEET NUMBER

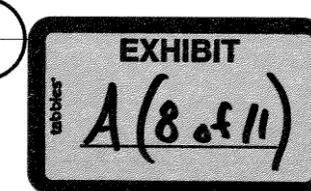
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- NOTES:
1. COORDINATION OF MULCH WITH LANDSCAPE ARCHITECT ON SITE TO ACHIEVE A MORE NATURAL LOOK WHERE THE ORGANIC & ROCK CHIP MULCH MEET.
2. ROCK CHIP MULCH MAY EXTEND PAST THE GATEWAY STRUCTURES, DEPENDING ON LAYOUT & APPEARANCE.

PLAN - MULCH NORTH EAST GATEWAY PLANTING AREA SCALE: 1/8" = 1'

SHRUB AND PERNNIAL PLANTING PLAN - NORTH





Use One Call of Wyoming to locate underground utilities before you dig. Excavators planning to dig, drill or trench should make the required locate request to One Call of Wyoming two working days before the planned work.

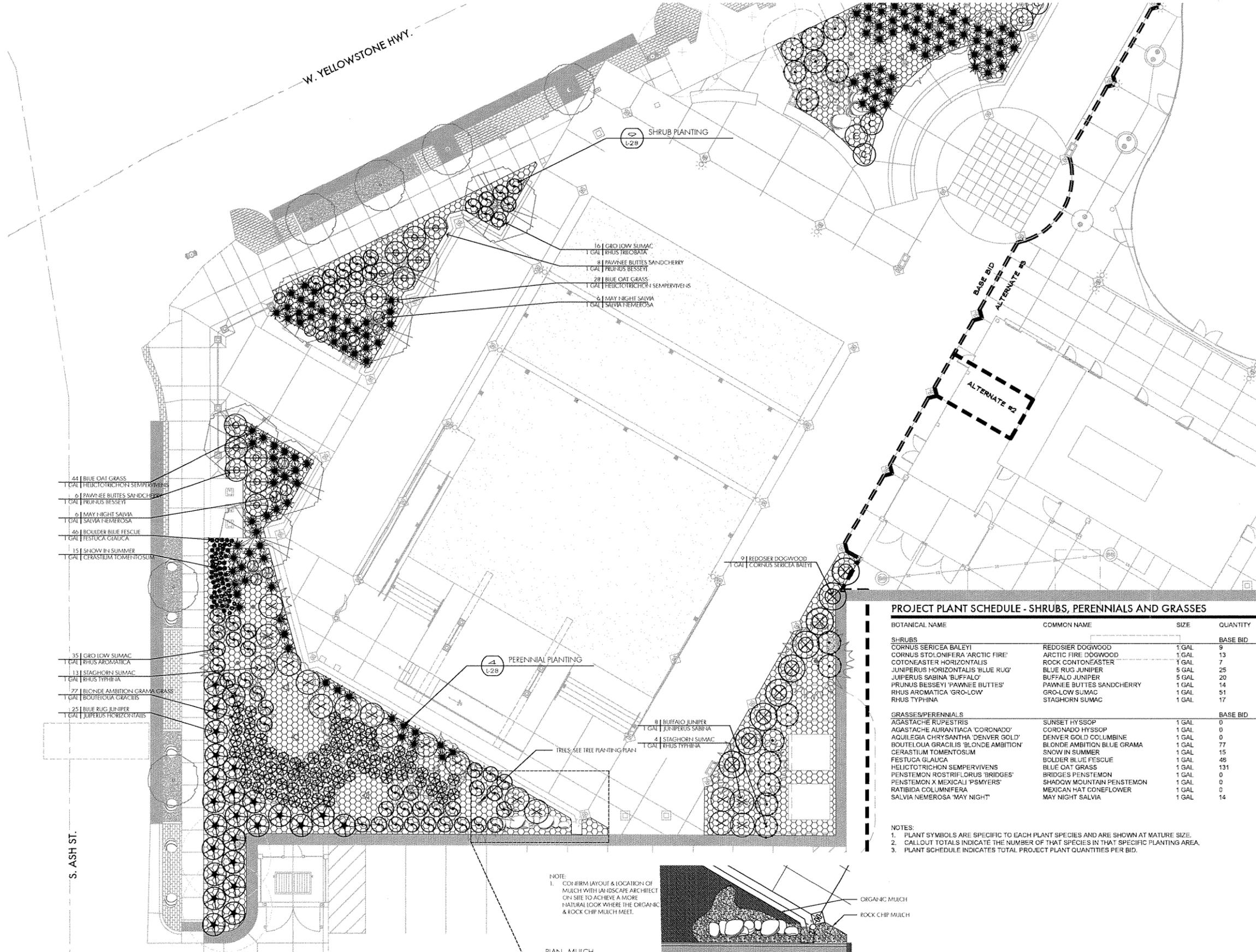
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200 SOUTH DAVID STREET
CASPER, WYOMING 82601

TALLGRASS
Landscape Architecture for the American West
1000 N. LITTLE LANE, SUITE 100
CASPERS, WYOMING 82401
307.233.5533 LANDSCAPEARCHITECTURE.COM
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in Casper, WY
1000 N. LITTLE LANE, SUITE 100
CASPERS, WYOMING 82401
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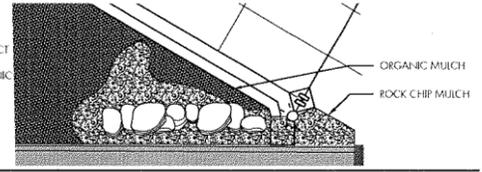


PROJECT PLANT SCHEDULE - SHRUBS, PERENNIALS AND GRASSES

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	BASE BID	ALT. #3
SHRUBS					
CORNUS SERICEA BALEYI	REDSIER DOGWOOD	1 GAL	9	3	
CORNUS STOLONIFERA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	1 GAL	13	19	
COTONEASTER HORIZONTALIS	ROCK COTONEASTER	1 GAL	7	20	
JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	5 GAL	25	0	
JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 GAL	20	21	
PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SANDCHERRY	1 GAL	14	0	
RHUS ARCTICA 'GRO-LOW'	GRO-LOW SUMAC	1 GAL	51	4	
RHUS TYPHINA	STAGHORN SUMAC	1 GAL	17	0	
GRASSES/PERENNIALS					
AGASTACHE RUPESTRIS	SUNSET HYSOOP	1 GAL	0	3	
AGASTACHE AURANTIACA 'CORONADO'	CORNADO HYSOOP	1 GAL	0	1	
AQUILEGIA CHRYSANTHA 'DENVER GOLD'	DENVER GOLD COLUMBINE	1 GAL	0	7	
BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	77	36	
CERASTIUM TOMENTOSUM	SNOW IN SUMMER	1 GAL	15	0	
FESTUCA GLAUCA	BOLDER BLUE FESCUE	1 GAL	46	0	
HELICTOTRICHON SEMPERVIVENS	BLUE OAT GRASS	1 GAL	131	0	
PENSTEMON ROSTRIFLORUS 'BRIDGES'	BRIDGES PENSTEMON	1 GAL	0	3	
PENSTEMON X MEXICALI 'PSMYERS'	SHADOW MOUNTAIN PENSTEMON	1 GAL	0	3	
RATIBIDA COLUMNIFERA	MEXICAN HAT CONEFLOWER	1 GAL	0	6	
SALVIA NEMEROSA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GAL	14	0	

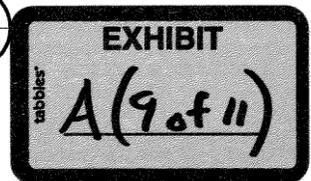
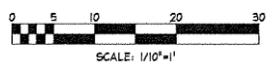
- NOTES:
 1. PLANT SYMBOLS ARE SPECIFIC TO EACH PLANT SPECIES AND ARE SHOWN AT MATURE SIZE.
 2. CALLOUT TOTALS INDICATE THE NUMBER OF THAT SPECIES IN THAT SPECIFIC PLANTING AREA.
 3. PLANT SCHEDULE INDICATES TOTAL PROJECT PLANT QUANTITIES PER BID.

NOTE:
 1. CONFIRM LAYOUT & LOCATION OF MULCH WITH LANDSCAPE ARCHITECT ON SITE TO ACHIEVE A MORE NATURAL LOOK WHERE THE ORGANIC & ROCK CHIP MULCH MEET.



PLAN - MULCH
 1 MULCH AREA BEHIND STAGE
 SCALE: 1/8" = 1'

SHRUB AND PERENNIAL PLANTING PLAN - SOUTH



PROJECT NUMBER
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DATE
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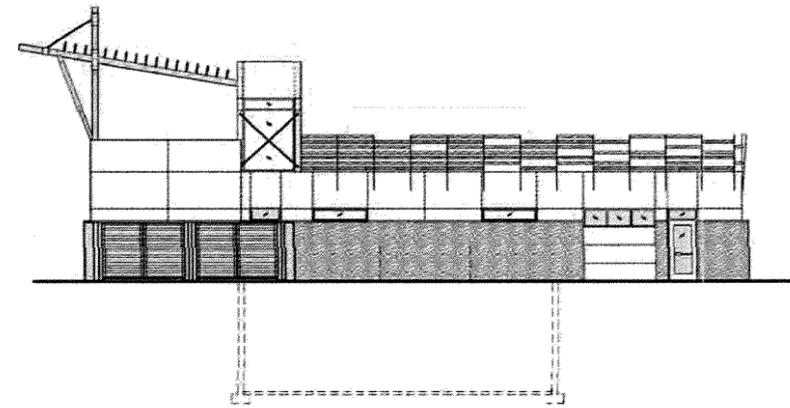
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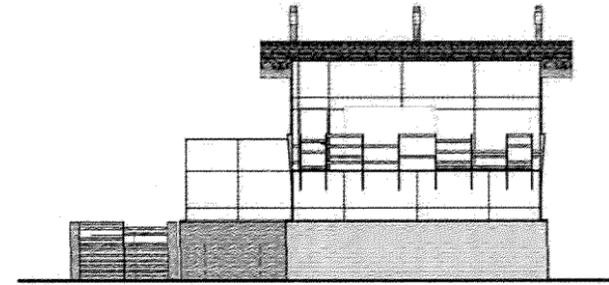
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SOUTH PLANTING PLAN

SHEET NUMBER

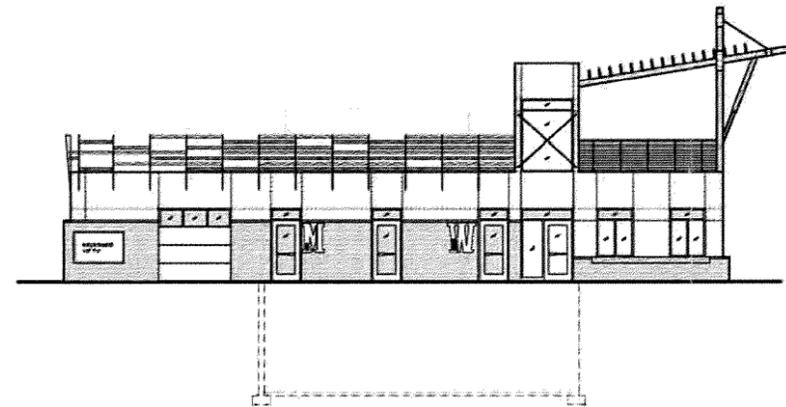
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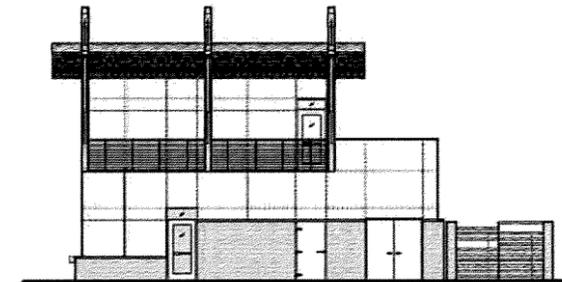
SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

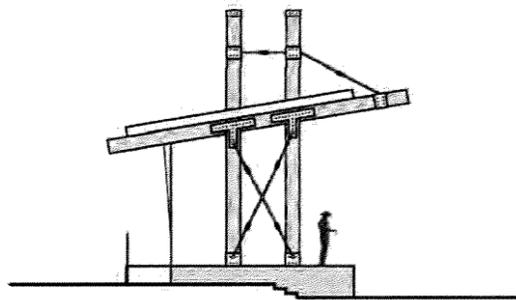


NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

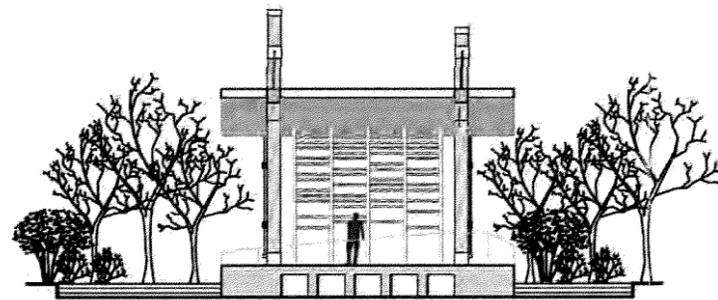


NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

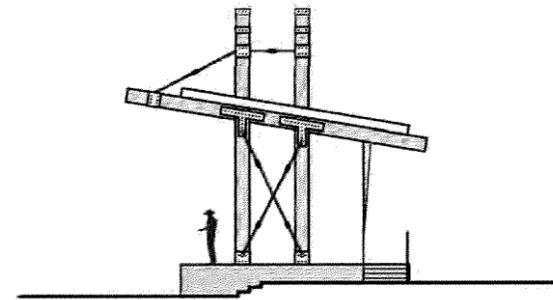




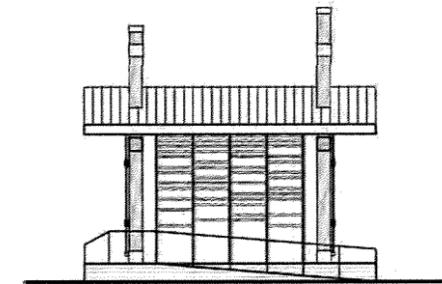
**SOUTHWEST
BAND SHELL ELEVATION**
SCALE: 1/8" = 1'-0"



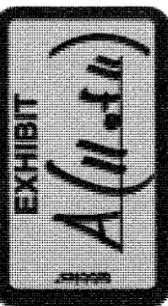
NORTHEAST BAND SHELL ELEVATION
SCALE: 1/8" = 1'-0"



**NORTHEAST
BAND SHELL ELEVATION**
SCALE: 1/8" = 1'-0"



**SOUTHEAST
BAND SHELL ELEVATION**
SCALE: 1/8" = 1'-0"



RESOLUTION NO.16-262

A RESOLUTION APPROVING THE SITE PLAN AGREEMENT FOR 200 SOUTH DAVID STREET, LOTS 1-5 AND LOTS 40-44, BLOCK 1, IN THE CITY OF CASPER FOR THE CONSTRUCTION OF A DOWNTOWN PUBLIC PLAZA

WHEREAS, the City of Casper (“Owner”) and the Downtown Development Authority (“Lessee”) entered into a Lease Agreement for Lots 1-5 and Lots 40-44, Block 1, in the City of Casper, Wyoming, more commonly described as 200 South David Street, Casper, Wyoming; and,

WHEREAS, the Lease Agreement was recorded on 4/13/2016 at 11:20:43 AM as Instrument Number 1010161 in the Natrona County Clerk’s Office (17 pages); and,

WHEREAS, the Downtown Development Authority has applied for site plan approval for the construction of a downtown public plaza on the leased lots; and,

WHEREAS, pursuant to Sections 17.08.010 and 17.12.150 (J) of the Casper Municipal Code, the Owner is required to submit a site plan prior to the construction of said plaza on the leased lots, which also requires the approval of the Old Yellowstone District Architectural Review Committee; and,

WHEREAS, the Owner is signing this Agreement as an accommodating party to the Site Plan Agreement, solely to allow the City to approve Lessee’s submitted Site Plan; and,

WHEREAS, Owner has no responsibility or liability for the costs, expenses, duties or obligations to be performed by the Lessee under this Agreement; and,

WHEREAS, the Lessee is solely and completely responsible for performing all duties and obligations set forth in this Agreement, and for paying all costs, expenses therefor.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized, and directed to sign the Site Plan Agreement as an accommodating party.

PASSED, APPROVED AND ADOPTED this ____ day of _____, 2016.

APPROVED AS TO FORM:

Walter Treuheit

ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

(Resolution Approving the Site Plan Agreement for 200 South David Street, Lots 1-5 and Lots 40-44, Block 1, in the City of Casper for the Construction of a Downtown Public Plaza)

November 7, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Liz Becher, Community Development Director
Andrew Beamer, P.E., Public Services Director

LB

SUBJECT: Underground Right-Of-Way Easement with Rocky Mountain Power for David Street Station

Recommendation:

That Council, by resolution, authorize an underground right-of-way easement with PacifiCorp, d/b/a Rocky Mountain Power, for the installation of underground electrical power for the David Street Station project.

Summary:

The David Street Station Project requires the vacation of an existing alley that is currently used to convey overhead power lines. In order to vacate the alley and relocate the existing overhead power lines underground, Rocky Mountain Power requires the City of Casper, as the owner of the site, to grant an easement. The easement allows Rocky Mountain Power to construct and maintain their underground improvements.

The Easement and resolution is prepared for Council's consideration along with the Downtown Development Authority's supporting resolution.

Return to:
Rocky Mountain Power
Estimator: Leach
2840 E. Yellowstone
Casper, WY 82604

| WO#:6125819

UNDERGROUND RIGHT OF WAY EASEMENT

For value received, **City of Casper, Wyoming** (“Grantor”), hereby grants to PacifiCorp, an Oregon Corporation, d/b/a Rocky Mountain Power its successors and assigns, (“Grantee”), an easement for a right of way 20 feet in width and 130 feet in length, more or less, for the construction, reconstruction, operation, maintenance, repair, replacement, enlargement, and removal of underground electric power transmission, distribution and communication lines and all necessary or desirable accessories and appurtenances thereto, including without limitation: wires, fibers, cables and other conductors and conduits therefor; and pads, transformers, switches, cabinets, and vaults on, across, or under the surface of the real property of Grantor in **Natrona** County, State of **Wyoming** more particularly described as follows and as more particularly described and/or shown on Exhibit(s) **A & B** attached hereto and by this reference made a part hereof:

Legal Description: A Parcel located in and being a portion of Lot 1 through 5 and alley, Block 1, City of Casper being a subdivision of a portion of the NW1/4, Section 9, Township 33 North, Range 79 West, of the Sixth Principal Meridian, Natrona County, Wyoming.

Together with the right of reasonable access to the right of way from adjacent lands of Grantor for all activities in connection with the purposes for which this easement has been granted; and together with the present and (without payment therefor) the future right to keep the right of way clear of all brush, trees, timber, structures, buildings and other hazards which might endanger Grantee’s facilities or impede Grantee’s activities.

Grantor hereby reserves, and shall have the right to use the right of way granted herein for any use which does not otherwise unreasonably interfere with the Grantee’s use thereof, including the right to install walkways, trails, or sidewalks, or other public or private utilities on or in the easement property.

The rights and obligations of the parties hereto shall be binding upon and shall benefit their respective heirs, successors and assigns.

Dated this _____ day of _____, 2016.

WLC ENGINEERING, SURVEYING AND PLANNING
200 PRONGHORN STREET, CASPER, WYOMING 82601

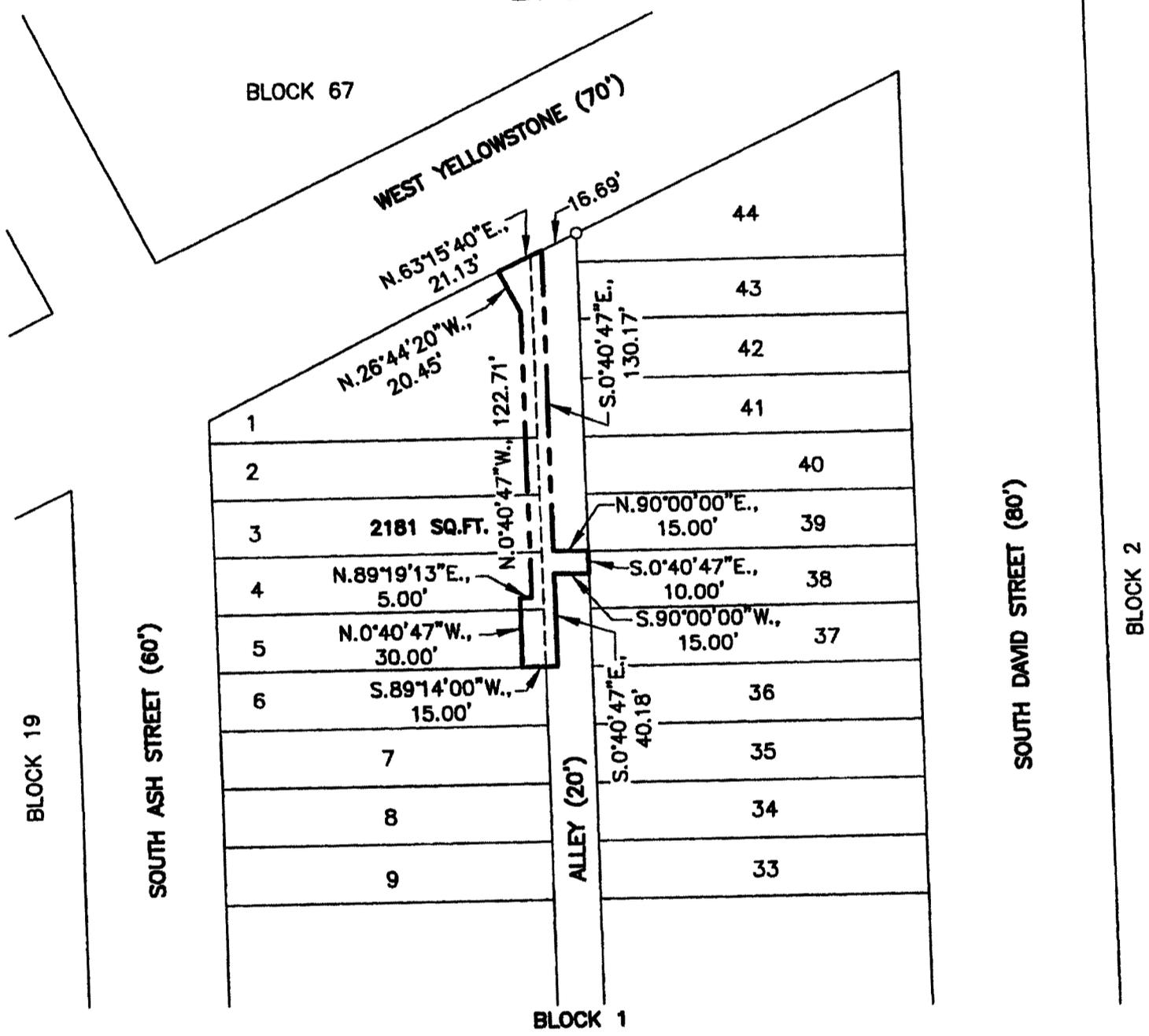
FOR

Client DOWNTOWN DEVELOPMENT AUTHORITY Address 234 SOUTH DAVID
City CASPER State WYOMING Zip 82601

PROPERTY LOCATION PLAT

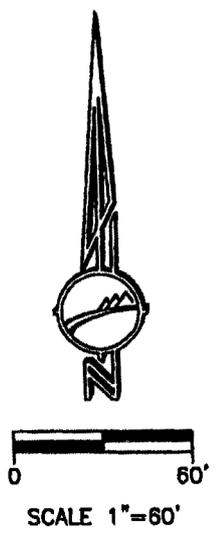
NW1/4 Section 9, T. 33 N., R. 79 W., 6th Principal Meridian, Wyoming
Lot 1-5 & PT. ALLEY Block 1 Subdivision CITY OF CASPER
City CASPER County NATRONA State WYOMING

EXHIBIT A



BASIS OF BEARING
STATE PLANE COORDINATES--NAD83/86
WYOMING EAST CENTRAL ZONE
GRID DISTANCES--US SURVEY FOOT

LEGEND
○ RECOVERED BRASS CAP
(75.00') RECORD
75.00' MEASURED
Date: 5/19/16
W.O. No. 15958
Drawn By: SJG
Acad File: DDA BOUNDARY





CASPER
 200 BRONKHORN
 CASPER, WY 82601
 P: 307-266-2524

EXHIBIT B

May 19, 2016

Downtown Development Authority
 234 South David
 Casper, WY 82601

W.O. No.: 15958
 Sheet 1 of 2



Description: (Utility Easements - Block 1, City of Casper)

A Parcel located in and being a portion of Lots 1 through 5 and Alley, Block 1, City of Casper, being a subdivision of a portion of the NW1/4, Section 9, Township 33 North, Range 79 West, of the Sixth Principal Meridian, Natrona County, Wyoming, and being more particularly described as follows:

Beginning at the northeast corner of the Parcel being described and a point in the southeasterly right of way line of West Yellowstone, and from which point the northwest corner of Lot 44, of said Block 1, City of Casper, bears N.63°15'40"E., 16.69 feet; thence from said Point of Beginning and along the easterly line of said Parcel, 5 feet easterly, perpendicular and parallel with the westerly line of said alley, S.0°40'47"E., 130.17 feet to a point; thence along the northerly line of said Parcel, N.90°00'00"E., 15.00 feet to the northeasterly corner of Lot 38, of said Block 1, City of Casper and a point in the easterly line of said alley; thence along the easterly line of said Parcel, the westerly line of said Lot 38, Block 1, City of Casper and the easterly line of said alley, S.0°40'47"E., 10.00 feet; thence along the southerly line of said Parcel, S.90°00'00"W., 15.00 feet to a point 5 feet easterly and perpendicular to the westerly line of said alley; thence along the easterly line of said Parcel, 5 feet easterly, perpendicular and parallel to the westerly line of said alley, S.0°40'47"E., 40.18 feet to the southeasterly corner of said Parcel; thence along the southerly line of said Parcel and the southerly line and line extended easterly of said Lot 5, Block 1, City of Casper, S.89°14'00"W., 15.00 feet to the southwest corner of said Parcel and a point 10 feet westerly and perpendicular to the westerly line of said alley; thence along the westerly line of said Parcel, 10 feet westerly, perpendicular and parallel to the westerly line of said alley, across said Lot 5 and into said Lot 4, Block 1, City of Casper, N.0°40'47"W., 30.00 feet to a point; thence along

CHEYENNE RAWLINS
 DEDICATED TO CLIENTS. DEFINED BY EXCELLENCE.

Description: (Utility Easements - Block 1, City of Casper)
Sheet 2 of 2

the northerly line of said Parcel, N.89°19'13"E., 5.00 feet to a point 5 feet westerly, and perpendicular to the westerly line of said alley; thence along the westerly line of said Parcel, 5 feet westerly, perpendicular and parallel to the westerly line of said alley, across said Lots 2 and 3, and into said Lot 1, Block 1, City of Casper, N.0°40'47"W., 122.71 feet to a point; thence continuing along the westerly line of said Parcel, N.26°44'20"W., 20.45 feet to the northwest corner of said Parcel, a point in the northwesterly line of said Lot 1, Block 1, City of Casper and a point in the southeasterly right of way line of said West Yellowstone; thence along the northwesterly line of said Parcel, the northwesterly line and line extended northeasterly of said Lot 1, Block 1, City of Casper, and the southeasterly right of way line of said West Yellowstone, N.63°15'40"E., 21.13 feet to the Point of Beginning, and said Parcel containing 0.050 acres, more or less, as set forth by the plat attached and made a part hereof.

CHEYENNE RAWLINS
DEDICATED TO CLIENTS. DEFINED BY EXCELLENCE.

APPROVAL AS TO FORM

I have reviewed the attached *Underground right of Way Easement between the City of Casper and Rocky Mountain Power* and approve it as to form on behalf of the City of Casper, Wyoming. I also acknowledge receipt of Resolution No. 003 prepared by the Casper Downtown Development Authority.

Dated: November 09, 2016



Wallace Trembath III
Assistant City Attorney

OF INTENT

RESOLUTION NO. 003

A RESOLUTION OF AUTHORIZATION BY THE BOARD OF DIRECTORS OF THE CASPER DOWNTOWN DEVELOPMENT AUTHORITY REQUESTING CITY OF CASPER APPROVAL FOR A UTILITY EASEMENT FOR DAVID STREET STATION/DOWNTOWN PUBLIC PLAZA

WITNESSETH

WHEREAS, the Casper Downtown Development Authority ("DDA") was established by City Ordinance by the City as set forth in Chapter 2.36 of the Casper Municipal Code, having been created pursuant to §§ 15-9-20 1 through 15-9-223 of the Wyoming State Statutes; and,

WHEREAS, the DDA and the City of Casper ("City") desire to develop a public plaza for recreation, public gatherings, and other public functions in the downtown area of the City of Casper, Wyoming, herein after referred to as the "Project" and that the Project serves the purposes for which the DDA was created; and,

WHEREAS, the site of the Project is land owned by the City of Casper and leased by the City to the DDA for its construction, operation and management of the Project as consistent with its purposes and Wyoming law; and,

WHEREAS, in order to develop the Project, certain overhead utility lines must be relocated and/or installed underground on the site of the Project; and,

WHEREAS, in order to relocate and/or install power utilities, the public utility, PacifiCorp, d/b/a Rocky Mountain Power, requires the owner of the land to grant an easement to burden the site of the Project; and,

WHEREAS, in accordance with the Lease Agreement and Revised Memorandum of Understanding dated April 12, 2016 between the City and the DDA (the "MOU"), the DDA specifically requests the City of Casper to approve a utility easement as shown on the attached Exhibit A and as legally described in Exhibit B in order for the Project to be developed.

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE CASPER DOWNTOWN DEVELOPMENT AUTHORITY that the DDA requests the City of Casper approve the requested utility easement, as shown on the attached Exhibit A and as legally described in Exhibit B.

PASSED, APPROVED AND ADOPTED THIS 9th day of November, 2016.

CASPER DOWNTOWN DEVELOPMENT AUTHORITY:

By: [Signature]
Kevin Hawley, Executive Director

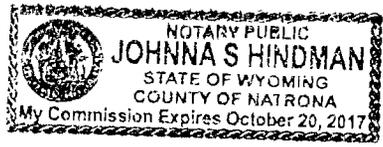
By: [Signature]
Brandon Daigle, Chairman of the Board

STATE OF WYOMING)
) ss.
COUNTY OF NATRONA)

The foregoing Resolution was acknowledged before me this 9 day of November, 2016 by Kevin Hawley, as the Executive Director, and Brandon Daigle, as Chairman of the Board of Directors, of the Downtown Development Authority, also known as the Casper Downtown Development Authority, on its behalf.

My commission expires:
10/20/2017

[Signature]
NOTARY PUBLIC



APPROVAL AS TO FORM

I have reviewed the attached *Underground right of Way Easement between the City of Casper and Rocky Mountain Power* and approve it as to form on behalf of the City of Casper, Wyoming. I also acknowledge receipt of Resolution No. 003 prepared by the Casper Downtown Development Authority.

Dated: November 09, 2016



Wallace Trembath III
Assistant City Attorney

RESOLUTION NO. 16-263

A RESOLUTION AUTHORIZING AN UNDERGROUND RIGHT-OF-WAY EASEMENT WITH PACIFICORP, d/b/a ROCKY MOUNTAIN POWER, FOR INSTALLATION OF UNDERGROUND ELECTRICAL SERVICE FOR THE DAVID STREET STATION PROJECT.

WHEREAS, the City of Casper is vacating a portion of an alley between David Street and Ash Street, and Midwest Avenue and West Yellowstone Highway, for the David Street Station Project; and,

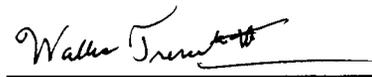
WHEREAS, vacation of the alley requires the relocation of existing overhead power lines underground; and,

WHEREAS, Rocky Mountain Power requires an easement prior to the vacation of the alley and for installation of their facilities underground.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized and directed to execute, and the City Clerk to attest, an easement with Rocky Mountain Power for the purpose of using certain City-owned property for the installation of an electrical service line, more particularly described in said easement, and specifically subject to the conditions set forth therein.

PASSED, APPROVED, AND ADOPTED this ____ day of _____, 2016.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

November 7, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Liz Becher, Community Development Director



SUBJECT: Petition supporting the vacation of a portion of an alley located within the boundaries of David Street Station.

Recommendation:

That Council, by resolution, authorize the Mayor to sign a petition supporting the vacation of a portion of an alley located in Block 1, between Lots 39-44 and Lots 1-3, in the City of Casper, as property owner of 3.25 acres, more or less, within three hundred (300) feet of the subject alley.

Summary:

The Downtown Development Authority is in the process of developing a 47,520 square foot, more or less, downtown public plaza located at 200 South David Street. During the initial planning and design process for the project, it was determined that the alley right-of-way running north and south through the center of the site would need to be vacated to allow for the construction of plaza amenities on the subject alley. The alley right-of-way in question runs north to south and is located between South David Street and South Ash Street, and between West Yellowstone Highway and West Midwest Avenue. City staff has determined that the subject alley can be vacated without adversely impacting utility services, trash pickup, or traffic circulation in the area.

W.S. §15-4-109 states that no vacation may be ordered except upon petition of a majority of the owners owning a majority of the property abutting on the portion proposed to be vacated and extending three hundred (300) feet in either direction from the portion proposed to be vacated. The City of Casper own 3.25 acres, more or less, or approximately twenty-six (26) percent of the land, within three hundred (300) feet of the subject alley. With the Mayor's signature, the Downtown Development Authority would achieve the necessary signatures to proceed with the application to vacate said alley.

A resolution has been prepared for Council's consideration, a map is provided for illustration, and the petition is provided for the Mayor's signature.

Plaza Alley Vacation - City of Casper Ownership

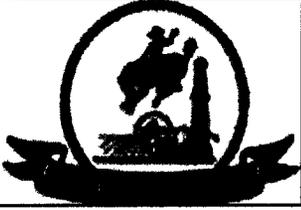


Legend

- ▬ Subject Alley
- Parcel Ownership
- City of Casper Ownership
- 300' Buffer (460')



NOT TO SCALE



City of Casper Planning Division

Petition for Street/Alley Vacation

§ W.S. 15-4-305. Streets; vacation; petition required; consideration.

The governing body has the exclusive power and, by ordinance, may vacate any highway, street, lane or alley, or portion thereof. No vacation may be ordered except upon petition of a majority of the owners owning a majority of the property abutting on the portion proposed to be vacated and extending three hundred (300) feet in either direction from the portion proposed to be vacated. The city or town may demand and receive the value of the land vacated as consideration for the vacation.

WE, THE UNDERSIGNED PROPERTY OWNERS, PETITION FOR THE VACATION OF THE STREET(S)/ALLEY(S) OUTLINED IN THE ATTACHED EXHIBIT 'A':

PRINTED NAME	SIGNATURE	PROPERTY OWNED (LEGAL DESCRIPTION)	DATE
City of Casper		Casper Block 1, Lot 6-8	
City of Casper		Casper Block 1, Lot 40	
City of Casper		Casper Block 1, Lot 1-4 incl 1/2 + All Lot 5	
City of Casper		Casper Block 1, Lot 23-24	
City of Casper		Casper Block 1, Lot 9-12	
City of Casper		Casper Block 1, Lot 25-24 incl Lot 35 S 9	
City of Casper		Casper Block 1, Lot 16-17 + 18 N 10	
City of Casper		Casper Block 1, Lot 20-21	
City of Casper		Casper Block 1, Lot 13	
City of Casper		Casper Block 1, Lot 14-15	
City of Casper		Casper Block 1, Lot 18 S 15 + Lot 19 All	
City of Casper		Casper Block 1, Lot 22	
City of Casper		Casper Block 1, Lot 41-43 + Lot 44 PT	
City of Casper		Casper Block 1, Lot 1-4 incl E 1/2	



CASPER
200 PRONGHORN
CASPER, WY 82601
P: 307-266-2524

November 10, 2015 (Revised 12/1/15)

Downtown Development Authority
234 South David
Casper, WY 82601

W.O. No.: 15918

Description: (20' Wide Alley Vacation-Block 1, City of Casper)

A Parcel located in and being a portion of Block 1, City of Casper, being a subdivision of a portion of the NW1/4, Section 9, Township 33 North, Range 79 West, of the Sixth Principal Meridian, Natrona County, Wyoming, and being more particularly described as follows:

Beginning at the northeast corner of the Parcel being described, the northwest corner of Lot 44, Block 1, City of Casper and a point in the southeasterly right of way line of West Yellowstone; thence from said Point of Beginning and along the easterly line of said Parcel and the westerly line of Lots 39 through 44, Block 1, City of Casper, S.0°40'47"E., 137.68 feet to the southeast corner of said Parcel and the southwest corner of Lot 39, Block 1, City of Casper; thence along the southerly line of said Parcel, across said Alley, Block 1, City of Casper, S.89°08'53"W., 20.00 feet to the southwest corner of said Parcel and the southeast corner of Lot 3, Block 1, City of Casper; thence along the westerly line of said Parcel and the easterly line of Lots 1 through 3, Block 1, City of Casper, N.0°40'47"W., 127.96 feet to the northwest corner of said Parcel, the northeast corner of Lot 1, Block 1, City of Casper and a point in and intersection with said southeasterly right of way line of West Yellowstone; thence along the northwesterly line of said Parcel and the southeasterly right of way line of said West Yellowstone, N.63°15'40"E., 22.26 feet to the Point of Beginning, and said Parcel and Strip containing 0.061 acres, more or less, as set forth by the plat attached and made a part hereof.



CHEYENNE

RAWLINS

DEDICATED TO CLIENTS. DEFINED BY EXCELLENCE.

EXHIBIT

A(1 of 2)

WLC ENGINEERING, SURVEYING AND PLANNING
200 PRONGHORN STREET, CASPER, WYOMING 82601

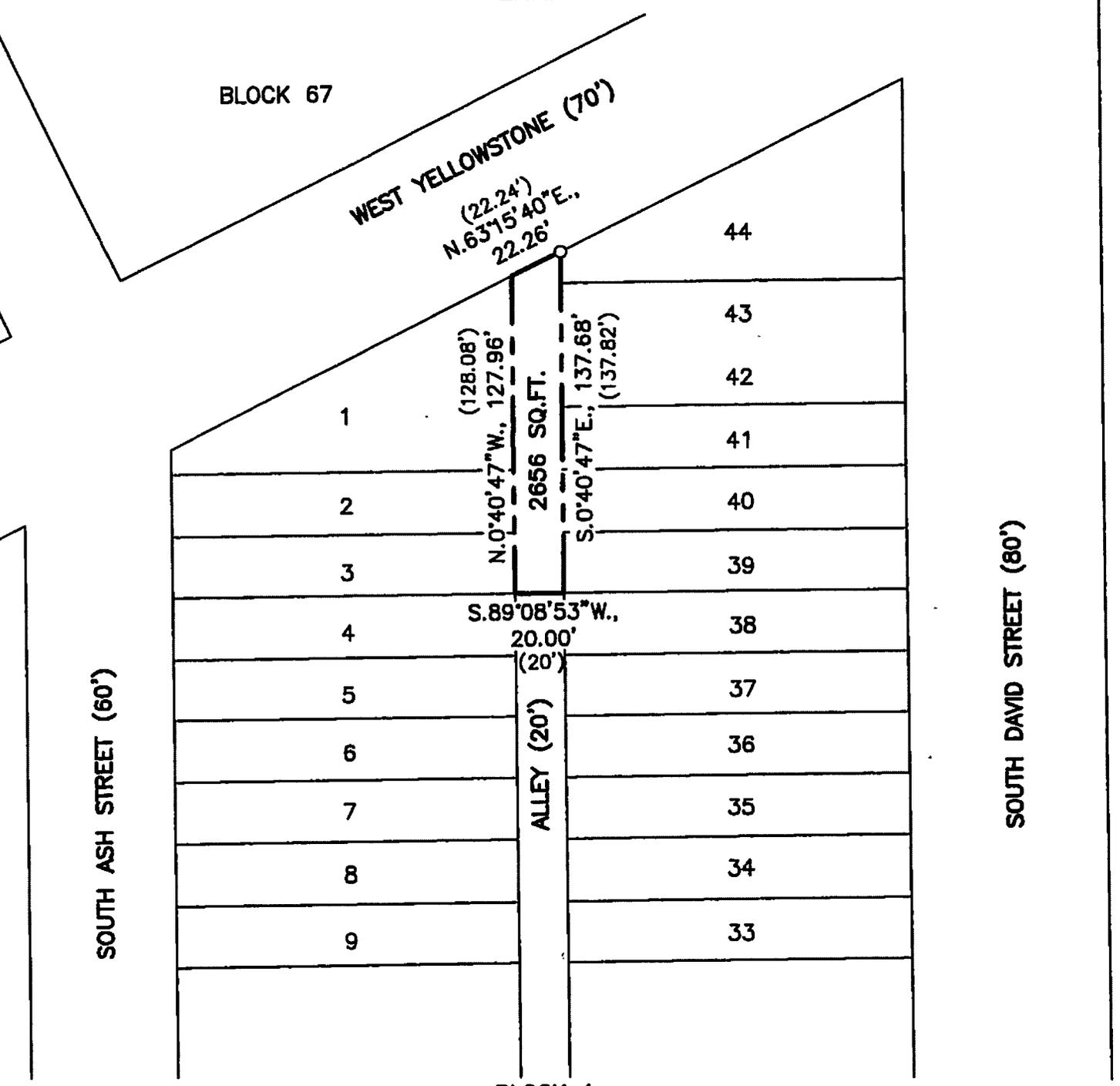
FOR

Client DOWNTOWN DEVELOPMENT AUTHORITY Address 234 SOUTH DAVID
City CASPER State WYOMING Zip 82601

PROPERTY LOCATION PLAT

NW1/4 Section 9, T. 33 N., R. 79 W., 6th Principal Meridian, Wyoming
Lot PT. ALLEY Block 1 Subdivision CITY OF CASPER
City CASPER County NATRONA State WYOMING

EXHIBIT A



BASIS OF BEARING
STATE PLANE COORDINATES—NAD83/86
WYOMING EAST CENTRAL ZONE
GRID DISTANCES—US SURVEY FOOT

LEGEND

- RECOVERED BRASS CAP
- (75.00') RECORD
- 75.00' MEASURED

Date: 11/10/15 (REV. 12/1/15)
N.O. No. 15918
Drawn By: SJG
Acad File: DDA BOUNDARY

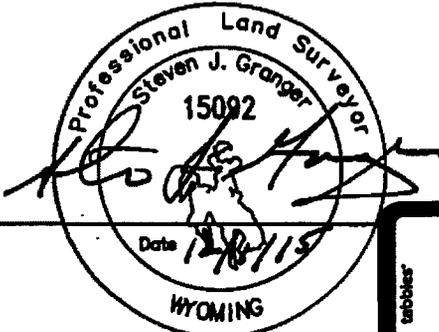
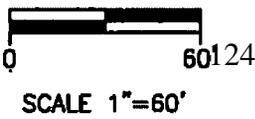


EXHIBIT
A (2 of 2)

RESOLUTION NO.16-264

A RESOLUTION AUTHORIZING THE MAYOR TO SIGN A PETITION FOR THE VACATION OF A PORTION OF AN ALLEY LOCATED SOUTH OF WEST YELLOWSTONE HIGHWAY BETWEEN LOTS 39-44 AND LOTS 1-3, BLOCK 1, IN THE CITY OF CASPER AS PROPERTY OWNER OF APPROXIMATELY 3.25 ACRES

WHEREAS, the Downtown Development Authority has applied to vacate a portion of an alley south of West Yellowstone Highway and between South David Street and South Ash Street, located in Block 1 of the Casper Addition, between Lots 39-44 and Lots 1-3 as further described on Exhibit A, which is attached hereto, and hereinafter referred to as the Exhibit; and,

WHEREAS, said portion of the alley is to be where the proposed David Street Station is located; and,

WHEREAS, under Wyoming State Statutes, § W.S. 15-4-305, vacation of an alley right-of-way requires the petition of a majority of owners owning a majority of the property abutting the portion proposed to be vacated and extending three hundred (300) feet in either direction from the portion proposed to be vacated; and,

WHEREAS, the City of Casper owns approximately 3.25 acres, or approximately twenty-six (26) percent, of the land within three hundred (300) feet of the portion proposed to be vacated; and,

WHEREAS, the City desires to sign the petition to assist in achieving enough signatures to proceed with the application to vacate said alley.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized, and directed to sign a petition supporting the vacation of a portion of an alley south of West Yellowstone Highway between South David Street and South Ash Street, located in Block 1 of the Casper Addition, between Lots 39-44 and Lots 1-3 as further described on the Exhibit.

PASSED, APPROVED AND ADOPTED this ____ day of _____, 2016.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

(Resolution Authorizing the Mayor to Sign a Petition for the Vacation of a Portion of an Alley Located South of West Yellowstone Highway Between Lots 39-44 and Lots 1-3, Block 1, in the City of Casper as Property Owner of Approximately 3.25 Acres)



CASPER
200 PRONGHORN
CASPER, WY 82601
P: 307-266-2524

November 10, 2015 (Revised 12/1/15)

Downtown Development Authority
234 South David
Casper, WY 82601

W.O. No.: 15918

Description: (20' Wide Alley Vacation-Block 1, City of Casper)

A Parcel located in and being a portion of Block 1, City of Casper, being a subdivision of a portion of the NW1/4, Section 9, Township 33 North, Range 79 West, of the Sixth Principal Meridian, Natrona County, Wyoming, and being more particularly described as follows:

Beginning at the northeast corner of the Parcel being described, the northwest corner of Lot 44, Block 1, City of Casper and a point in the southeasterly right of way line of West Yellowstone; thence from said Point of Beginning and along the easterly line of said Parcel and the westerly line of Lots 39 through 44, Block 1, City of Casper, S.0°40'47"E., 137.68 feet to the southeast corner of said Parcel and the southwest corner of Lot 39, Block 1, City of Casper; thence along the southerly line of said Parcel, across said Alley, Block 1, City of Casper, S.89°08'53"W., 20.00 feet to the southwest corner of said Parcel and the southeast corner of Lot 3, Block 1, City of Casper; thence along the westerly line of said Parcel and the easterly line of Lots 1 through 3, Block 1, City of Casper, N.0°40'47"W., 127.96 feet to the northwest corner of said Parcel, the northeast corner of Lot 1, Block 1, City of Casper and a point in and intersection with said southeasterly right of way line of West Yellowstone; thence along the northwesterly line of said Parcel and the southeasterly right of way line of said West Yellowstone, N.63°15'40"E., 22.26 feet to the Point of Beginning, and said Parcel and Strip containing 0.061 acres, more or less, as set forth by the plat attached and made a part hereof.



CHEYENNE

RAWLINS

DEDICATED TO CLIENTS. DEFINED BY EXCELLENCE.

EXHIBIT

A(1 of 2)

WLC ENGINEERING, SURVEYING AND PLANNING
200 PRONGHORN STREET, CASPER, WYOMING 82601

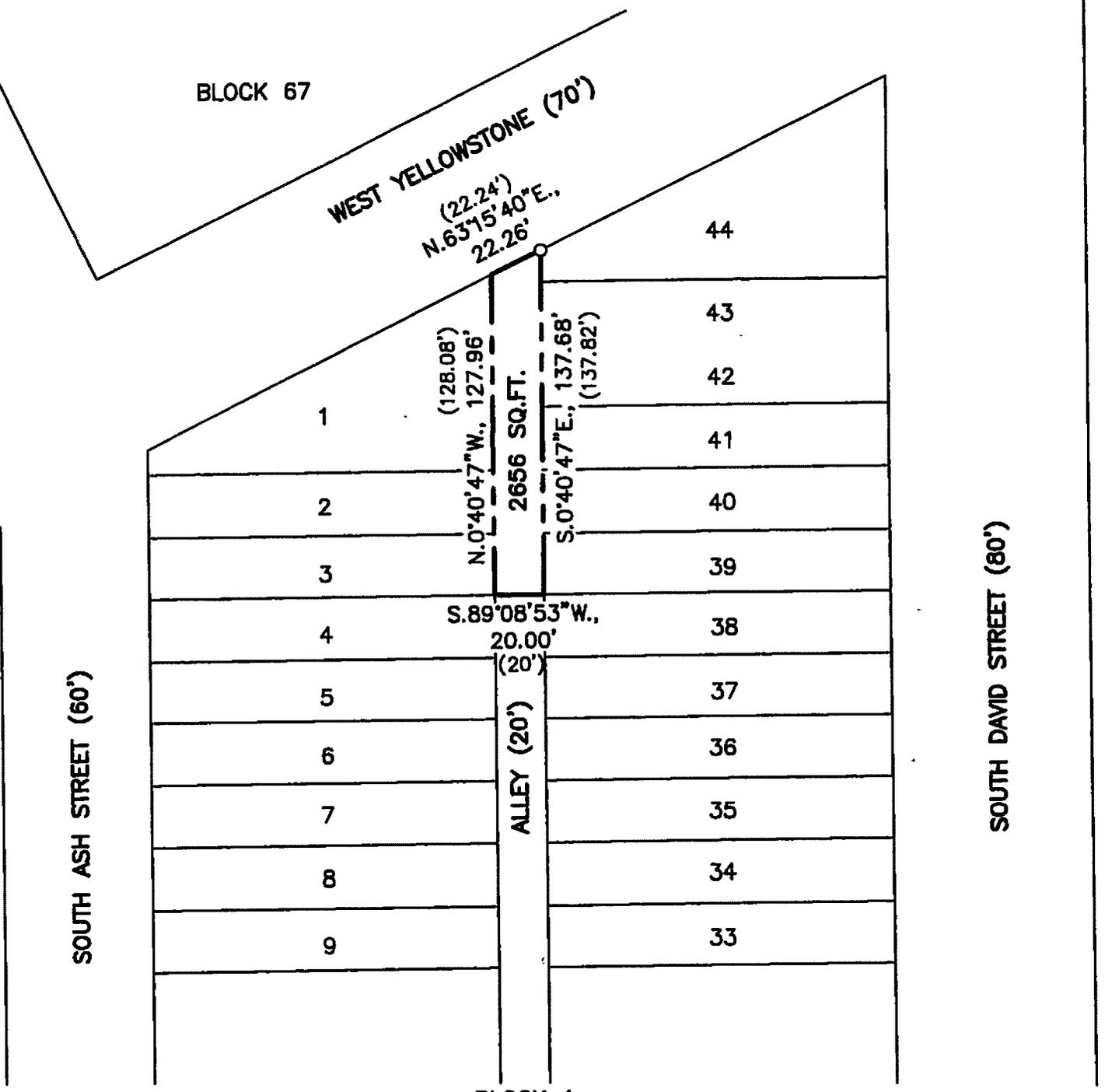
FOR

Client DOWNTOWN DEVELOPMENT AUTHORITY Address 234 SOUTH DAVID
City CASPER State WYOMING Zip 82601

PROPERTY LOCATION PLAT

NW1/4 Section 9, T. 33 N., R. 79 W., 6th Principal Meridian, Wyoming
Lot PT. ALLEY Block 1 Subdivision CITY OF CASPER
City CASPER County NATRONA State WYOMING

EXHIBIT A



BASIS OF BEARING

STATE PLANE COORDINATES-NAD83/86
WYOMING EAST CENTRAL ZONE
GRID DISTANCES-US SURVEY FOOT

LEGEND

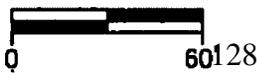
- RECOVERED BRASS CAP
- (75.00') RECORD
- 75.00' MEASURED

Date: 11/10/15 (REV. 12/1/15)

N.O. No. 15918

Drawn By: SJG

Acad File: DDA BOUNDARY



SCALE 1"=60'



EXHIBIT

tabbles

A(2x2)

November 8, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Andrew Beamer, P.E., Public Services Director ^{AB}
Cindie Langston, Solid Waste Division Manager
Ethan Yonker, E.I.T., Associate Engineer

SUBJECT: Agreement with SWi, LLC.
Solid Waste Gate Improvements, Project No. 16-005

Recommendation:

That Council, by resolution, authorize an agreement with SWi, LLC, for the Solid Waste Gate Improvements, Project No. 16-005, in the amount of \$60,127.50. Furthermore, it is recommended that Council authorize a construction contingency account, in the amount of \$6,012.50, for a total project amount of \$66,140.00.

Summary:

On Tuesday, October 25, 2016, four (4) bids were received from contractors to install gate automation equipment, a gate operator, and two-hundred and twenty-five (225) square yards of asphalt paving. The bids received for this work are as follows:

<u>CONTRACTOR</u>	<u>BUSINESS LOCATION</u>	<u>BID AMOUNT</u>
SWi, LLC	Powell, WY	\$60,127.50
71 Construction	Casper, WY	\$61,987.71
Hout Fencing	Worland, WY	\$65,604.50
Knife River	Casper, WY	\$65,965.00

By State Statute, all in-state bidders receive a five percent (5%) bid preference. As the low bid was received from an in-state Contractor, no bid preference was granted.

Work is scheduled to be completed by May 5, 2017. The estimate prepared by the City of Casper Engineering Department was \$80,250.00.

Funding for this project will be from funds allocated to Solid Waste security improvements.

The Agreement and resolution are prepared for Council's consideration.

STANDARD FORM OF
AGREEMENT BETWEEN OWNER AND CONTRACTOR
(Approved by City Attorney, 2004)

THIS AGREEMENT is made between the City of Casper, Wyoming, 200 North David Street, Casper, Wyoming 82601, hereinafter referred to as the "Owner," and SWi LLC, P.O. Box 1240, Powell, Wyoming 82435, hereinafter referred to as the "Contractor."

WHEREAS, the City of Casper desires to install gate automation equipment, gate operator, and asphalt paving; and,

WHEREAS, SWi LLC, is able and willing to provide those services specified as the SOLID WASTE GATE IMPROVEMENTS, Project 16-005.

NOW, THEREFORE, it is hereby agreed as follows:

ARTICLE 1. WORK.

Contractor shall perform all the work required by the Contract Documents for the SOLID WASTE GATE IMPROVEMENTS, Project 16-005.

ARTICLE 2. ENGINEER.

The Project has been designed by the City of Casper, who is hereinafter referred to as the "Engineer", and who is to act as Owner's representative, assume all duties and responsibilities and have the rights and authority assigned to Engineer in the Contract Documents in connection with completion of the Work in accordance with the Contract Documents.

ARTICLE 3. CONTRACT TIME.

Work will be considered substantially complete when all demolition, grading, and installations are complete. Final completion will be granted upon completion of a walk through with Owner's Representative, completion of punchlist, clean up of work site, and de-mobilization.

- 3.1 The Work will be substantially completed by April 28, 2017, and completed and ready for final payment in accordance with Paragraph 14.13 of the General Conditions by May 5, 2017.
- 3.2 Liquidated Damages. Owner and Contractor recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not substantially completed by the time specified in Paragraph 3.1 above, plus any extension thereof allowed in accordance with Article 12 of the General Conditions. They also recognize the delays, expense, and difficulties involved in proving in a legal or arbitration proceeding the actual loss suffered by Owner if the Work is not substantially completed on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages

for delay (but not as a penalty) Contractor shall pay Owner One Thousand Dollars (\$1,000) for each day that expires after the time specified in Paragraph 3.1 for substantial completion. After Substantial Completion, if Contractor shall neglect, refuse, or fail to complete the remaining work within the time specified in paragraph 3.1 for completion and readiness for final payment or any proper extension thereof granted by Owner, Contractor shall pay Owner Two Hundred Dollars (\$200.00) for each day that expires after the time specified in paragraph 3.1 for completion and readiness for final payment. It is further agreed that such liquidated damages are not a penalty, but represent the parties' best estimate of actual damages.

ARTICLE 4. CONTRACT PRICE.

In Consideration of the performance of the work in accordance with the Contract documents for this Unit Price Contract, Owner shall pay Contractor in current funds a not-to-exceed total contract price of Sixty Thousand One Hundred Twenty-Seven and 50/100 Dollars (\$60,127.50), subject to additions and deductions by Change Order approved by the Owner. The contract fee shall be based on materials actually furnished and installed and services actually provided based on the unit prices contained in the Bid Form and Itemized Bid Schedule, included as Exhibit "A" (pages BF-1 through BF-4, Bid Form and BS-1, Bid Schedule) and by this reference made a part of this Agreement.

ARTICLE 5. PAYMENT PROCEDURES.

Contractor shall submit Applications for Payment in accordance with Article 14 of the General Conditions. Applications for Payment will be processed through the Engineer as provided in the General Conditions.

- 5.1 Progress Payments. Owner shall make progress payments on the basis of Contractor's Applications for Payment as recommended by Engineer, on or about the 25th day of each month during construction as provided below. All progress payments will be on the basis of the progress of the Work measured by the Schedule of Values provided for in Paragraph 14.1 of the General Conditions, subject to the cutoff and submittal dates provided in the General Provisions.
 - 5.1.1 Prior to payment of fifty percent (50%) of Total Contract Price progress payments will be made in an amount equal to ninety percent (90%) of the Work completed, and ninety percent (90%) of Invoice Cost of materials and equipment not incorporated in the work but delivered and suitably stored, less in each case the aggregate of payments previously made.
 - 5.1.2 After payment of fifty percent (50%) of Total Contract Price has been made, Owner shall withhold such amounts necessary so the total retainage is equal to five percent (5%) of the Total Contract Price.
 - 5.1.3 In the event the Contractor makes only one application for payment upon completion of the entire project, the Owner shall withhold five percent (5%) of the Total Contract

Price as retainage, said retainage to be paid in accordance with the provisions of Paragraph 5.2, Final Payment.

- 5.1.4 Should amounts owed by the Contractor to the City for any goods, services, licenses, permits or any other item or purpose remain unpaid beyond the City's general credit policy, those amounts may be deducted from the payment being made by the City to the Contractor pursuant to this agreement.
- 5.2 OWNER may withhold progress payments if CONTRACTOR fails to submit an updated progress schedule with the application for payment.
- 5.3 Final Payment. Upon final completion and acceptance of the Work in accordance with Paragraph 14.13 of the General Conditions, Engineer shall recommend payment and present Contractor's Final Application for Payment to the City. Pursuant to Wyoming State Statutes, final payment cannot be made until forty-one (41) days after publication of the first Notice of Completion.

ARTICLE 6. WITHHELD FUNDS.

Pursuant to Wyoming Statutes Section 16-6-701 et seq., withheld percentages for Contracts exceeding \$25,000.00 will be retained in an account in the name of the Contractor (except when specifically waived in writing by Contractor) which has been assigned to the Owner until the Contract is completely, satisfactorily, and finally accepted by the Owner. Unless a depository is designated by the Contractor in a written attachment hereto, the Contractor's signature hereon shall act as authority for the Owner to designate a retainage depository on behalf of the Contractor, for the purposes specified in Wyoming Statutes Section 16-6-704. The Contractor's signature hereon shall act as an assignment of the depository account to the Owner, as provided by Wyoming Statutes Section 16-6-701 et seq., whether the depository is designated by the Contractor or by the Owner.

ARTICLE 7. CONTRACTOR'S REPRESENTATIONS.

In order to induce Owner to enter into this Agreement, Contractor makes the following representations:

- 7.1 Contractor has familiarized himself with the nature and extent of the Contract Documents, Work, locality, and with all local conditions and federal, state, and local Laws and Regulations that in any manner may affect cost, progress, or performance of the Work.
- 7.2 Contractor has studied carefully all reports of investigations and test of subsurface and latent physical conditions at the site or otherwise affecting cost, progress, or performance of the work which were relied upon by Engineer in the preparation of the Drawings and Specifications and which have been identified in the Supplementary Conditions.
- 7.3 Contractor has made or caused to be made examinations, investigations, and test and studies as he deems necessary for the performance of the Work at the Contract Price, within the

Contract Time, and in accordance with the other terms and conditions of the Contract Documents; and no additional examinations, investigations, tests, reports, or similar data are or will be required by Contractor for such purposes.

- 7.4 Contractor has correlated the results of all such observations, examinations, investigations, tests, reports, and data with the terms and conditions of the Contract Documents.
- 7.5 Contractor has given Engineer written notice of all conflicts, errors, or discrepancies that he has discovered in the Contract Documents and the written resolution thereof by Engineer is acceptable to Contractor.
- 7.6 Contractor certifies that materials containing asbestos will not be used for this project without prior written approval by the Owner.

ARTICLE 8. CONTRACT DOCUMENTS.

The Contract Documents which comprise the entire agreement between Owner and Contractor are attached to this Agreement, made a part hereof and consist of the following:

- 8.1 This Agreement (Pages SFA-1 to SFA-6, inclusive).
- 8.2 Exhibit "A" - Bid Form (BF-1 through BF-4 and BS-1).
- 8.3 Joint Account Agreement or Letter of Forfeiture waiving same.
- 8.4 Addenda No. 0.
- 8.5 Performance and Payment Bonds.
- 8.6 Certificates of Insurance, of Workers' Compensation Coverage, and of Unemployment Insurance Coverage.
- 8.7 Notice of Award.
- 8.8 Notice to Proceed.
- 8.9 Minutes of the Pre-Bid Conference, if any.
- 8.10 General Conditions (Pages 00700-1 to 00700-42, inclusive).
- 8.11 Supplementary Conditions (Pages SSC-1 to SSC-15, inclusive).
- 8.12 Technical Specifications, consisting of six (6) sections.
- 8.13 Special Provisions, consisting of two (2) sections; (01810, 02040)

- 8.14 Contract Drawings: Solid Waste Gate Improvements - Sheets 1 through 5 inclusive.
- 8.15 Shop Drawings and other Submittals furnished by Contractor during performance of the Work and accepted by the Owner.
- 8.16 Any modifications, amendments, and supplements, including Change Orders, issued pursuant to Paragraphs 3.4 and 3.5 of the General Conditions, on or after the effective date of this Agreement.
- 8.17 Notice of Substantial Completion.

ARTICLE 9. GOVERNMENTAL CLAIMS ACT

The Owner does not waive any right or rights it may have pursuant to the Wyoming Governmental Claims Act, Wyoming Statutes Section 1-39-101 et seq. The Owner specifically reserves the right to assert any and all immunities, rights, and defenses it may have pursuant to the Wyoming Governmental Claims Act.

ARTICLE 10. MISCELLANEOUS PROVISIONS

Terms used in this Agreement, which are defined in the General Conditions, shall have the meanings designated in those conditions.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed in one (1) original copy on the day and year first above written.

DATED this _____ day of _____, 2016.

The rest of this page is intentionally left blank

APPROVED AS TO FORM:

Wesley J. ...

ATTEST:

CONTRACTOR:

By: _____

By: _____

Title: _____

Title: _____

ATTEST:

OWNER:
CITY OF CASPER, WYOMING
A Municipal Corporation

By: _____

By: _____

Tracey L. Belser

Daniel Sandoval

Title: City Clerk

Title: Mayor

EXHIBIT "A"
STANDARD
BID FORM
(Approved by City Attorney, 1995)

PROJECT IDENTIFICATION: City of Casper
SOLID WASTE GATE IMPROVEMENTS,
Project 16-005

THIS BID SUBMITTED TO: City of Casper
200 North David Street
Casper, Wyoming 82601

1. The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with the City in the form included in the Bidding Documents and to complete all Work as specified or indicated in the Bidding Documents for the Contract Price by April 28, 2017, and completed and ready for final payment not later than May 5, 2017, in accordance with the Bidding Documents.
2. Bidder accepts all of the terms and conditions of the Advertisement for Bids and Instructions to Bidders, including without limitation those dealing with the disposition of Bid Guaranty. This Bid will remain effective for thirty (30) days after the day of Bid opening. Bidder will sign the Agreement and submit the Bonds and other documents required by the Bidding Documents within thirty (30) days after the date of the City's Notice of Award.
3. Notice that preferences will be granted pursuant to Wyoming Statutes Section 16-6-101, et seq., is hereby acknowledged.
4. In submitting this Bid, Bidder represents, as more fully set forth in the Bidding Documents, that:
 - A. Bidder has examined copies of all the Bidding Documents and of the following addenda (receipt of all which is hereby acknowledged):

Addendum No. _____	Dated _____
Addendum No. _____	Dated _____
 - B. Bidder has examined the site and locality where the work is to be performed, the federal, state, and local Laws and Regulations, and the conditions affecting cost, progress, or performance of the work and has made such independent investigations as Bidder deems necessary;

C. This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm, corporation, or other business entity. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid. Bidder has not solicited or induced any person, firm, or a corporation to refrain from bidding. Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or against the City.

5. Bidder is bidding all schedules, alternates, if any, and will complete the Work for unit price(s) stated on the attached bid schedule based on materials actually furnished and installed and services actually provided. The Bid is summarized below on the basis of estimated quantities:

TOTAL BASE BID, IN NUMERALS: \$ 60,127.50

TOTAL BASE BID, IN WORDS: SIXTY THOUSAND ONE HUNDRED TWENTY SEVEN DOLLARS AND 50 CENTS DOLLARS.

6. Bidder agrees that the work for the City will be as provided above.

7. Bidder accepts the provisions of the Bidding Documents as to liquidated damages in the event of failure to complete the work on time, unless otherwise stated as provided below. Bidder agrees that such liquidated damages are not a penalty and that the amount provided is as close an estimate as possible to actual damages. Any exceptions or objections to this provision are stated in writing and attached hereto by Bidder.

8. The following documents are attached to and made a condition of this Bid:

A. Required Bid Guaranty in the form of a Bid Bond. (Unless otherwise provided by the City.)

B. Itemized Bid Schedule.

C. State of Wyoming Certificate of Residency Status, in conformance with the Instructions to Bidders.

9. Communications concerning this Bid shall be addressed to:

Address of Bidder: SWi, LLC
P.O. Box 1240
Powell, WY 82435

10. The terms used in this Bid are defined in and have the meanings assigned to them in the General Conditions, except as provided in the Supplementary Conditions and Bidding Documents.

Submitted on October 25, 2016.

Bidder is bidding as a Resident (Insert Resident or Non-Resident)

IF BIDDER IS:

AN INDIVIDUAL

By: _____ (seal)
(Individual's Name)

doing business as: _____

Business Address: _____

Phone Number: _____

A PARTNERSHIP

By: _____ (seal)
(Firm's Name)

(General Partner)

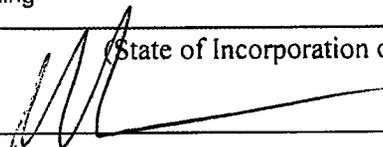
Business Address: _____

Phone Number: _____

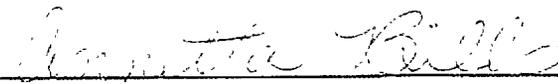
A CORPORATION OR LIMITED LIABILITY COMPANY

By: SWi, LLC (seal)
(Corporation's or Limited Liability Company's Name)

Wyoming
(State of Incorporation or Organization)

By:  Made Okon (seal)
Managing Member

(Seal)

Attest: 

Business Address: P.O. Box 1240
Powell, WY 82435

Phone Number: 307-754-8166

A JOINT VENTURE

By: _____ (seal)
(Name)

(Address)

By: _____ (seal)
(Name)

(Address)

(Each joint venturer must sign. The manner of signing for each individual, partnership, and corporation that is a party to the joint venture should be in the manner indicated above.)

BID SCHEDULE
SOLID WASTE GATE IMPROVEMENTS
Project 16-005
Casper, Wyoming

Contractor shall furnish and install items called for in the Specifications. All costs not included in the schedule that are necessary to provide a complete, functional project as depicted in the Specifications and Drawings are to be considered incidental and merged with costs of other related bid items.

LS=Lump Sum, SY = Square Yards, EA = Each, CY = Cubic Yard

Bid Item	Description	Unit	Quantity	Unit Price	Total Price
1	Mobilization and Bonds	LS	1	3,000.00	3,000.00
2	Earth Work	LS	1	3,500.00	3,500.00
3	Gallagher Controls	EA	2	5,120.00	10,240.00
4	Gate Operator	LS	1	16,675.00	16,675.00
5	Electrical Service, Conduit, and Fixtures	LS	1	13,450.00	13,450.00
6	Furnish and Install 30' Tall Pole	LS	1	900.00	900.00
7	Furnish and Install Grading "W" Base	CY	35	65.00	2,275.00
8	Furnish and Install Asphalt Paving	SY	225	41.50	9,337.50
9	1" Crushed Washed Rock	CY	5	70.00	350.00
10	Moving and Setting Provided Shed	LS	1	400.00	400.00
Total Base Bid					60,127.50

Bid Schedule

- **TOTAL BASE BID IN WORDS:**

SIXTY THOUSAND ONE HUNDRED TWENTY SEVEN DOLLARS AND FIFTY CENTS

This bid submitted by: SWi, LLC
(Individual, partnership, corporation, or joint venture name)

RESOLUTION NO. 16-265

A RESOLUTION AUTHORIZING AN AGREEMENT WITH SWI LLC, FOR THE SOLID WASTE GATE IMPROVEMENTS, PROJECT NO. 16-005

WHEREAS, the City of Casper desires to install gate automation equipment, gate operator, and asphalt paving at the Casper Regional Landfill in Casper, Wyoming; and,

WHEREAS, SWi LLC, is able and willing to provide those services specified as the Solid Waste Gate Improvements, Project No. 16-005; and,

WHEREAS, it would be in the best interest of the City to expedite changes in the project by allowing the City Manager to sign change orders effecting time extensions of no more than thirty (30) days, dollar amount changes no greater than Five Thousand Dollars (\$5,000.00) and other project administration related change orders that do not substantially alter the scope of the project.

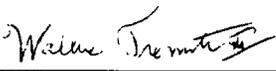
NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized and directed to execute, and the City Clerk to attest, an agreement with SWi LLC, for those services, in the amount of Sixty Thousand One Hundred Twenty-Seven and 50/100 Dollars (\$60,127.50).

BE IT FURTHER RESOLVED: That the City Manager is hereby authorized to make verified partial payments and contract extensions throughout the project, retaining those amounts prescribed by the agreement, equal to an amount not to exceed Sixty Thousand One Hundred Twenty-Seven and 50/100 Dollars (\$60,127.50) and Six Thousand Twelve and 50/100 Dollars (\$6,012.50) for a construction contingency account, for a total price of Sixty-Six Thousand One Hundred Forty and 00/100 Dollars (\$66,140.00).

BE IT FURTHER RESOLVED: That the City Manager is hereby authorized to sign change orders effecting time extensions of no more than thirty (30) days, changes in the dollar amount of the above described agreement not greater than the sum of Five Thousand Dollars (\$5,000.00), and other project administration related change orders that do not substantially alter the scope of the project.

PASSED, APPROVED, AND ADOPTED this ____ day of _____, 2016.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

October 26, 2016

MEMO TO: V.H. McDonald, City Manager

FROM: Andrew B. Beamer, Public Services Director 
Cynthia Langston, Solid Waste Division Manager
Scott R. Baxter, P.E., Associate Engineer

SUBJECT: Agreement with Hult Construction, Inc.
Solid Waste Facility 2016 Storage Buildings Construction, Project No. 15-63.

Recommendation:

That Council, by resolution, authorize an agreement with Hult Construction Inc., for construction of the Solid Waste Facility 2016 Storage Buildings Construction, Project No. 15-63, for the base bid amount of \$256,966. Furthermore, it is recommended that Council authorize a construction contingency account, in the amount of \$25,734, for a total project amount of \$282,700.

Summary:

On October 25, 2016, the City of Casper received five (5) bids for construction of two (2) buildings in the Solid Waste Facility 2016 Storage Buildings Construction Project. The bids for the work were as follows:

<u>CONTRACTOR</u>	<u>BUSINESS LOCATION</u>	<u>BASE BID</u>
Hult Construction	Casper, WY	\$ 256,966.00
Zitterkopf Construction	Casper, WY	\$ 329,498.11
GH Phipps	Laramie, WY	\$ 331,000.00
Sour Construction	Mills, WY	\$ 404,344.00
Caspar Building Systems	Casper, WY	\$ 494,443.00

The Engineer's estimate prepared by the City's Engineering Division was \$310,000.

This project consists of the construction of two (2) different buildings as summarized below:

- 1) One 30'x70' wood frame building with metal exterior as an extension of the existing Electronic Waste Building. The building will allow for storage of waste items in a manner that will protect them from precipitation and follow best management practices for storm water quality. The Wyoming Department of Environmental Quality transfer station permit requires we meet all the Clean Water Act storm water requirements, and the City was required to move our e-waste storage units from outside into a covered area.
- 2) One 70'x120' steel frame building with metal exterior to house the Bio-Solids equipment. The building will allow for storage of the bio-solids turner to protect it from the weather and allow for evaluation and minor repairs.

The Substantial Completion deadline for construction of the buildings is set for June 30, 2017.

Funding for both buildings will be from funds allocated to New Capital Buildings.

The Agreement and resolution are prepared for Council's consideration.

STANDARD FORM OF
AGREEMENT BETWEEN OWNER AND CONTRACTOR
(Approved by City Attorney, 2004)

THIS AGREEMENT is made between the City of Casper, 200 N. David Street, Casper, Wyoming 82601, hereinafter referred to as the "Owner," and Hult Construction, Inc., 500 Circle Drive, Casper Wyoming 82601, hereinafter referred to as the "Contractor."

WHEREAS, the City of Casper desires to construct two (2) owner-supplied buildings and other associated improvements at the Casper Solid Waste Facility; and,

WHEREAS, Hult Construction, Inc., is able and willing to provide those services specified as the Casper Solid Waste Facility 2016 Storage Buildings Construction, Project 15-63.

NOW, THEREFORE, it is hereby agreed as follows:

ARTICLE 1. WORK.

Contractor shall perform all the work required by the Contract Documents for the Casper Solid Waste Facility 2016 Storage Buildings Construction, Project 15-63.

ARTICLE 2. ENGINEER.

The Project has been designed by the City of Casper Engineering Office, 200 N. David, Casper, Wyoming, who is hereinafter referred to as the "Engineer" and who is to act as Owner's representative, assume all duties and responsibilities and have the rights and authority assigned to Engineer in the Contract documents in connection with completion of the Work in accordance with the Contract documents.

ARTICLE 3. CONTRACT TIME.

- 3.1 The Work will be substantially completed by June 30, 2017, and completed and ready for final payment in accordance with Article 14 of the General Conditions by July 15, 2017.
- 3.2 Liquidated Damages. Owner and Contractor recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not substantially completed by the time specified in Paragraph 3.1 above, plus any extension thereof allowed in accordance with Article 12 of the General Conditions. They also recognize the delays, expense, and difficulties involved in proving in a legal or arbitration proceeding the actual loss suffered by Owner if the Work is not substantially completed on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay Owner Five Hundred Dollars (\$500.00) for each day that expires after the time specified in Paragraph 3.1 for substantial completion. After Substantial Completion, if the Contractor shall neglect, refuse, or fail to complete the remaining work within the time specified in paragraph 3.1

SFA-1

for completion and readiness for final payment or any proper extension thereof granted by Owner, Contractor shall pay Owner Two Hundred Dollars (\$200.00) for each day that expires after the time specified in paragraph 3.1 for completion and readiness for final payment. It is further agreed that such liquidated damages are not a penalty, but represent the parties' best estimate of actual damages.

ARTICLE 4. CONTRACT PRICE.

In Consideration of the performance of the work in accordance with the Contract documents for this Unit Price Contract, Owner shall pay Contractor in current funds a not-to-exceed total contract price of Two Hundred Fifty-Six Thousand Nine Hundred Sixty-Six Dollars (\$256,966), subject to additions and deductions by Change Order approved by the Owner. The contract fee shall be based on materials actually furnished and installed and services actually provided based on the unit prices contained in the Bid Form and Itemized Bid Schedule, included as Exhibit "A" (pages BF-1 through BF-4, Bid Form and BS-1, Bid Schedule) and by this reference made a part of this Agreement.

ARTICLE 5. PAYMENT PROCEDURES.

Contractor shall submit Applications for Payment in accordance with Article 14 of the General Conditions. Applications for Payment will be processed through the Engineer as provided in the General Conditions.

- 5.1 Progress Payments. Contractor's Applications for Payment, as recommended by Engineer, shall be submitted to City Engineering Staff on or before the 25th day of each month during construction, and Owner shall mail progress payments in the following month one day after the second monthly meeting of the Casper City Council. Progress payments shall be structured as provided below. All progress payments will be on the basis of the progress of the Work measured by the Schedule of Values provided for in Paragraph 14.01 of the General Conditions, subject to the cutoff and submittal dates provided in the Measurement and Payment Procedures.
 - 5.1.1 Prior to payment of fifty percent (50%) of Total Contract Price, progress payments will be made in an amount equal to ninety percent (90%) of the Work completed, and ninety percent (90%) of Invoice Cost of materials and equipment not incorporated in the Work but delivered and suitably stored, less in each case the aggregate of payments previously made.
 - 5.1.2 After payment of fifty percent (50%) of Total Contract Price has been made, Owner shall withhold such amounts necessary so the total retainage is equal to five percent (5%) of the Total Contract Price.
 - 5.1.3 In the event the Contractor makes only one application for payment upon substantially completing the Work, progress payment will be made in an amount equal to ninety-five percent (95%) of the Work completed. Owner shall withhold five percent (5%) of the work completed as retainage, said retainage to be paid in accordance with the provisions of Paragraph 5.3, Final Payment.

SFA-2

5.1.4 Should amounts owed by the Contractor to the City for any goods, services, licenses, permits or any other item or purpose remain unpaid beyond the City's general credit policy, those amounts may be deducted from the payment being made by the City to the Contractor pursuant to this agreement.

5.2 OWNER may withhold progress payments if CONTRACTOR fails to submit an updated progress schedule with the application for payment as detailed in Section 01310 Progress Schedules.

5.3 Final Payment. Upon final completion and acceptance of the Work in accordance with Article 14 of the General Conditions, Engineer shall recommend payment and present Contractor's Final Application for Payment to the City. Pursuant to Wyoming State Statutes, final payment cannot be made until forty-one (41) days after publication of the first Notice of Completion.

ARTICLE 6. WITHHELD FUNDS.

Pursuant to Wyoming Statutes Section 16-6-701 *et seq.*, withheld percentages for Contracts exceeding Twenty-Five Thousand Dollars (\$25,000.00) will be retained in an account in the name of the Contractor (except when specifically waived in writing by Contractor) which has been assigned to the Owner until the Contract is completely, satisfactorily, and finally accepted by the Owner. Unless a depository is designated by the Contractor in a written attachment hereto, the Contractor's signature hereon shall act as authority for the Owner to designate a retainage depository on behalf of the Contractor, for the purposes specified in Wyoming Statutes Section 16-6-704. The Contractor's signature hereon shall act as an assignment of the depository account to the Owner, as provided by Wyoming Statutes Section 16-6-701 *et seq.*, whether the depository is designated by the Contractor or by the Owner.

ARTICLE 7. CONTRACTOR'S REPRESENTATIONS.

In order to induce Owner to enter into this Agreement, Contractor makes the following representations:

7.1 Contractor has familiarized himself with the nature and extent of the Contract documents, Work, locality, and with all local conditions and federal, state, and local Laws and Regulations that in any manner may affect cost, progress, or performance of the Work.

7.2 Contractor has studied carefully all reports of investigations and test of subsurface and latent physical conditions at the site or otherwise affecting cost, progress, or performance of the Work which were relied upon by Engineer in the preparation of the Drawings and Specifications and which have been identified in the Supplementary Conditions.

7.3 Contractor has made or caused to be made examinations, investigations, and test and studies as he deems necessary for the performance of the Work at the Contract price, within the Contract Time, and in accordance with the other terms and conditions of the Contract documents; and no additional

examinations, investigations, tests, reports, or similar data are or will be required by Contractor for such purposes.

- 7.4 Contractor has correlated the results of all such observations, examinations, investigations, tests, reports, and data with the terms and conditions of the Contract documents.
- 7.5 Contractor has given Engineer written notice of all conflicts, errors, or discrepancies that he has discovered in the Contract documents and the written resolution thereof by Engineer is acceptable to Contractor.

ARTICLE 8. CONTRACT DOCUMENTS.

The Contract documents which comprise the entire agreement between Owner and Contractor are attached to this Agreement, made a part hereof and consist of the following:

- 8.1 This Agreement (Pages SFA-1 to SFA-6, inclusive).
- 8.2 Standard Joint Account Agreement or Letter of Forfeiture waiving same.
- 8.3 Exhibit "A" – Standard Bid Form (Pages BF-1 to BF-4, inclusive).
- 8.4 Bid Schedule (BS-1)
- 8.5 Addenda No. 1,2,3.
- 8.6 Standard Performance and Labor and Material Payment Bonds.
- 8.7 Certificates of Insurance, of Workers' Compensation Coverage, and of Unemployment Insurance Coverage.
- 8.8 Standard General Conditions (Pages 00700-1 to 00700-42, inclusive).
- 8.9 Standard Supplementary Conditions (Pages SSC-1 to SSC-16, inclusive).
- 8.10 General Requirements, consisting of seven (7) sections.
- 8.11 Special Provisions (Section 01810, and SS-1 to SS-10, inclusive).
- 8.12 Notice of Award.
- 8.13 Notice to Proceed.
- 8.14 Minutes of the Pre-Bid Conference, if any.

SFA-4

- 8.15 Shop Drawings and other Submittals furnished by Contractor during performance of the Work and accepted by the Owner.
- 8.16 Any modifications, amendments, and supplements, including Change Orders, issued pursuant to Paragraphs 3.4 and 3.5 of the General Conditions, on or after the effective date of this Agreement.
- 8.17 Certificate of Substantial Completion.
- 8.18 Drawings: Casper Solid Waste Facility 2016 Storage Buildings Construction, Project 15-63.

ARTICLE 9. GOVERNMENTAL CLAIMS ACT

The Owner does not waive any right or rights it may have pursuant to the Wyoming Governmental Claims Act, Wyoming Statutes Section 1-39-101 et seq. The Owner specifically reserves the right to assert any and all immunities, rights, and defenses it may have pursuant to the Wyoming Governmental Claims Act.

ARTICLE 10. MISCELLANEOUS PROVISIONS.

Terms used in this Agreement, which are defined in the General Conditions, shall have the meanings designated in those conditions.

(This space intentionally left blank)

SFA-5

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed in one (1) original copy on the day and year first above written.

DATED this _____ day of _____, 2016.

APPROVED AS TO FORM:

(Casper Solid Waste Facility 2016 Storage Buildings Construction, Project 15-63)

Walker Trewitt

ATTEST:

CONTRACTOR:

Hult Construction, Inc.

By: _____

By: _____

Title: _____

Title: _____

ATTEST:

OWNER:

CITY OF CASPER, WYOMING

A Municipal Corporation

By: _____

By: _____

Tracey L. Belser

Daniel Sandoval

Title: City Clerk

Title: Mayor

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EXHIBIT "A"
STANDARD
BID FORM
(Approved by City Attorney, 1995)

PROJECT IDENTIFICATION: City of Casper
Solid Waste Facility 2016 Storage Buildings Construction
Project, No 15-63

THIS BID SUBMITTED TO: City of Casper
200 North David Street
Casper, Wyoming 82601

1. The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with the City in the form included in the Bidding Documents and to complete all Work as specified or indicated in the Bidding Documents for the Contract Price by June 30, 2017, and completed and ready for final payment not later than July 15, 2017, in accordance with the Bidding Documents.
2. Bidder accepts all of the terms and conditions of the Advertisement for Bids and Instructions to Bidders, including without limitation those dealing with the disposition of Bid Guaranty. This Bid will remain effective for thirty (30) days after the day of Bid opening. Bidder will sign the Agreement and submit the Bonds and other documents required by the Bidding Documents within thirty (30) days after the date of the City's Notice of Award.
3. Notice that preferences will be granted pursuant to Wyoming Statutes Section 17-7-101, et seq., is hereby acknowledged.
4. In submitting this Bid, Bidder represents, as more fully set forth in the Bidding Documents, that:
 - A. Bidder has examined copies of all the Bidding Documents and of the following addenda (receipt of all which is hereby acknowledged):

Addendum No. <u>#1</u>	Dated <u>10-20-2016</u>
Addendum No. <u>#2</u>	Dated <u>10-24-2016</u>
<u>#3</u>	<u>10-25-2016</u>
 - B. Bidder has examined the site and locality where the work is to be performed, the federal, state, and local Laws and Regulations, and the conditions affecting cost,

BF-1

progress, or performance of the work and has made such independent investigations as Bidder deems necessary;

C. This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm, corporation, or other business entity. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid. Bidder has not solicited or induced any person, firm, or a corporation to refrain from bidding. Bidder has not sought by collusion to obtain for itself any advantage over any other Bidder or against the City.

5. Bidder is bidding all schedules, alternates, if any, and will complete the Work for unit price(s) stated on the attached bid schedule based on materials actually furnished and installed and services actually provided. The Bid is summarized below on the basis of estimated quantities:

TOTAL BASE BID, IN NUMERALS: \$ 256,965⁰⁰

TOTAL BASE BID, IN WORDS: Two-Hundred Fifty-Six Thousand Nine Hundred ~~Sixty-Five~~ Sixty-Six DOLLARS.

6. Bidder agrees that the work for the City will be as provided above.

7. Bidder accepts the provisions of the Bidding Documents as to liquidated damages in the event of failure to complete the work on time, unless otherwise stated as provided below. Bidder agrees that such liquidated damages are not a penalty and that the amount provided is as close an estimate as possible to actual damages. Any exceptions or objections to this provision are stated in writing and attached hereto by Bidder.

8. The following documents are attached to and made a condition of this Bid:

A. Required Bid Guaranty in the form of a Bid Bond. (Unless otherwise provided by the City.)

B. Itemized Bid Schedule.

9. Communications concerning this Bid shall be addressed to:

Address of Bidder: Josh Owens 259-6868
500 Circle Dr
Casper, WY 82601

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10. The terms used in this Bid are defined in and have the meanings assigned to them in the General Conditions, except as provided in the Supplementary Conditions and Bidding Documents.

Submitted on Oct 25th, 2016.

Bidder is bidding as a Resident # 1420 (Insert Resident or Non-Resident)

IF BIDDER IS:

AN INDIVIDUAL

By: _____ (seal)
(Individual's Name)

doing business as: _____

Business Address: _____

Phone Number: _____

A PARTNERSHIP

By: _____ (seal)
(Firm's Name)

(General Partner)

Business Address: _____

Phone Number: _____

A CORPORATION OR LIMITED LIABILITY COMPANY

By: Holt Construction Inc. (seal)
(Corporation's or Limited Liability Company's Name)

Wyoming
(State of Incorporation or Organization)

By: Paul Stull (seal)

President
(Title)

(Seal)

Attest: Dea Fridrick

Business Address: 500 Circle Dr.
Casper, WY 82601

Phone Number: 307-265-0927

A JOINT VENTURE

By: _____ (seal)
(Name)

(Address)

By: _____ (seal)
(Name)

(Address)

(Each joint venturer must sign. The manner of signing for each individual, partnership, and corporation that is a party to the joint venture should be in the manner indicated above.)

BID SCHEDULE
Casper Solid Waste Facility - 2016 Storage Buildings Construction
 Project No. 15-63

Bid Date: October 4, 2016

COMPANY NAME: Holt Construction Inc.
 ADDRESS: 500 Circle Dr.

Contractor shall furnish and install items as shown on the Drawings or called for in the Specifications. All costs not included in the schedule that are necessary to provide a complete, functional project as depicted in the Drawings and Specifications are to be considered incidental and merged with costs of other related bid items.

LS = Lump Sum R&R = Remove and Replace LF = Linear Feet F&I = Furnish and Install
 SY = Square Yard FA = Force Account CY = Cubic Yard EA = Each

ITEM		BASE BID SCHEDULE			
NO.	DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST
1	Mobilization	LS	1	25,697	25,697
2	Install Owner-Supplied Pre-Fabricated Wood Frame Building (30'x70')	LS	1	29,073	29,073
3	Install Owner-Supplied Pre-Fabricated Metal Frame Building (70'x120')	LS	1	46,908	46,908
4	Site Work	LS	1	3,242	3,242
5	Furnish & Install 16'x28' Equipment Door	LS	1	19,785	19,785
6	Furnish & Install Insulation System	LS	1	11,177	11,177
7	Furnish & Install Concrete Foundation	LS	1	18,477	18,477
8	Furnish & Install 7" Thick Concrete Floor Over 5" Crushed Base	LS	1	59,744	59,744
9	Furnish & Install Floor Drain System	LS	1	10,824	10,824
10	Furnish & Install Exterior Concrete (Aprons, Approaches, Sidewalks)	LS	1	4,324	4,324
11	Furnish & Install Electrical Service to New Building	LS	1	14,635	14,635
12	Furnish & Install Electrical Wiring, Equipment & Lighting Complete	LS	1	11,112	11,112
13	Furnish & Install Methane Gas Detector	LS	1	1,963	1,963
BASE BID SCHEDULE TOTAL					\$

Total Base Bid (Sum Total of Base Bid Schedule in Words): Two Hundred Fifty-Six Thousand Nine Hundred Sixty-Six Dollars Dollars (\$ 256,966.⁰⁰)

RESOLUTION NO. 16-266

A RESOLUTION AUTHORIZING AN AGREEMENT WITH HULT CONSTRUCTION, INC., FOR THE SOLID WASTE FACILITY 2016 STORAGE BUILDINGS CONSTRUCTION, PROJECT 15-63.

WHEREAS, the City of Casper desires to construct two (2) new storage buildings at the Casper Solid Waste Facility; and,

WHEREAS, Hult Construction, Inc., is able and willing to provide those services specified as the Solid Waste Facility 2016 Storage Buildings Construction, Project 15-63; and,

WHEREAS, it would be in the best interest of the City to expedite changes by allowing the City Manager to sign change orders affecting time extensions of no more than thirty (30) days, dollar amount changes no greater than Twenty Thousand Dollars (\$20,000), and other project administration related change orders that do not substantially alter the scope of the project.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized and directed to execute, and the City Clerk to attest, an agreement with Hult Construction, Inc., for those services, in the amount of Two Hundred Fifty-Six Thousand Nine Hundred Sixty-Six Dollars (\$256,966).

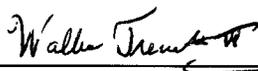
BE IT FURTHER RESOLVED: That the City Manager is hereby authorized to make verified partial payments throughout the project, retaining those amounts prescribed by the agreement, equal to a total amount not to exceed Two Hundred Fifty-Six Thousand Nine Hundred Sixty-Six Dollars (\$256,966), and Twenty-Five Thousand Seven Hundred Thirty-Four Dollars (\$25,734) for a construction contingency account, for a total price of Two Hundred Eighty-Two Thousand Seven Hundred Dollars (\$282,700).

BE IT FURTHER RESOLVED: That the City Manager is hereby authorized to sign change orders effecting time extensions of no more than thirty (30) days, changes in the dollar amount of the above described agreement not greater than the sum of Twenty Thousand Dollars (\$20,000), and other project administration related change orders that do not substantially alter the scope of the project.

PASSED, APPROVED, AND ADOPTED this ____ day of _____, 2016.

APPROVED AS TO FORM:

(Solid Waste Facility 2016 Storage Buildings Construction, Project 15-63)



ATTEST:

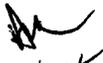
CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

November 7, 2016

TO: Honorable Mayor and Members of the Casper City Council

FROM: V.H. McDonald, City Manager 
William C. Luben, City Attorney 

RE: Termination of Sublease Agreement Between the City of Casper and the Amoco Reuse Agreement Joint Powers Board.

Recommendation:

That Council, by Resolution, give notice for the termination of the Sublease Agreement between the City of Casper and the Amoco Reuse Agreement Joint Powers Board (“ARAJPB”) which had been entered into on September 17, 2014 for the potential construction of a hotel and conference center and other infrastructure on the Amoco Commons property.

Summary:

The City sub-leased an eighteen (18) acre parcel from the ARAJPB on September 17, 2014 (the “Sublease”), as a potential site for the construction of a hotel and conference center, along with a potential performing arts center and related infrastructure and appurtenances (the “Project”). This real property is located on the Amoco Commons, which is managed by the ARAJPB. The City leased this property through September 30, 2099, for a total rental, which was paid in advance, in the sum of Five Million Ninety-Six Thousand Five Hundred Twenty Dollars (\$5,096,520.00).

The lease for this property specifically provided that the City was leasing the premises solely for the facilitation of the development of a conference center on the site, and that the City would be further subleasing the property to a developer or developers for the actual construction and ownership of the Project. The City and the ARAJPB specifically agreed that the City has the absolute right, in its sole discretion, to terminate the lease upon written notice in the event the Project, for any reason, was not able to be developed or constructed on the site.

The City and the ARAJPB have not been able to secure the development of this Project, and Council requested at a work session that this matter be brought forward to a Council Meeting for Council’s consideration for the termination of this Sublease and the refund of the rent previously paid by the City to hold the lease on this property. Under the lease, the ARAJPB has the obligation to refund the rent to the City within thirty (30) days from the date the Sublease is terminated by the City.

A Resolution for the termination of this Sublease is attached for your review and consideration, along with a cover letter for the Mayor’s signature in the event Council elects to terminate this Sublease.



OFFICE OF THE MAYOR

CITY OF CASPER

200 NORTH DAVID STREET
CASPER, WYOMING 82601-1815
PHONE (307) 235-8224
FAX: (307) 235-8313
www.cityofcasperwy.com

November 16, 2016

Amoco Reuse Agreement Joint Powers Board
ATTENTION: Renee Hahn, Executive Director
2435 King Boulevard
Casper, WY 82601

CERTIFIED MAIL NO. _____

Re: Notice of the Termination of the Sublease Agreement entered into on September 17, 2014, between the Amoco Reuse Agreement Joint Powers Board as the Sub-lessor, and the City of Casper, Wyoming, as the Sub-lessee

Dear Ms. Hahn:

Please find enclosed a certified copy of Resolution No. _____ passed by the Casper City Council on November 15, 2016, for the termination of the above-described Sublease agreement.

This is written notice that the City of Casper has elected to terminate the above-described Sublease Agreement pursuant to Section 1B. thereof. The City, pursuant to this provision, is requesting the refund of the rent paid by the City in the sum of Five Million Ninety-Six Thousand Five Hundred Twenty Dollars (\$5,096,520.00) within thirty (30) days of the City's termination of this Sublease Agreement.

Please feel free to contact me, or the City Manager, V.H. McDonald, should you have any questions or concerns regarding any of the above.

Sincerely,

Daniel Sandoval
Mayor

Enclosure

Cc: V.H. McDonald, City Manager

RESOLUTION NO.16-267

RESOLUTION FOR THE TERMINATION OF THE SUBLEASE
AGREEMENT BETWEEN THE AMOCO REUSE AGREEMENT JOINT
POWERS BOARD AND THE CITY OF CASPER, WYOMING

WHEREAS, the City of Casper (“City”) as Sub-lessee, entered into a Sublease Agreement (the “Sublease”) with the Amoco Reuse Agreement Joint Powers Board (“ARAJPB”) as the Sub-lessor, on September 17, 2014, for the lease of approximately 18 acres as described and set forth in said Sublease; and,

WHEREAS, the City leased the above-described real property solely for the facilitation of the construction and operation of the hotel and conference center complex, along with a potential performing arts center, landscaping and related infrastructure and appurtenances (the “Project”) by further sub-leasing the leased premises to a developer or developers for the construction and ownership of the Project or the component parts thereof; and,

WHEREAS, the parties specifically agreed that the City had, and has, the absolute right, in the event the project for any reason, was not able to be developed or constructed, to terminate the Sublease in its sole discretion upon written notice from the City to the ARAJPB; and,

WHEREAS, upon the giving of the Sublease termination notice, the ARAJPB has the obligation under the terms of the Sublease to refund to the City the rent paid by the City in the sum of Five Million Ninety-Six Thousand Five Hundred Twenty Dollars (\$5,096,520.00) within 30 days of the termination of the Sublease; and,

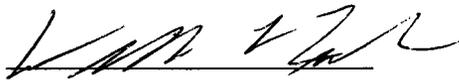
WHEREAS, the City has not been able to further sub-lease the leased premises to a developer or developers for the construction and ownership of the project, and the Casper City Council finds that the Sublease should be terminated, as provided by its terms.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That notice is hereby given by the City of Casper, Wyoming, to the Amoco Reuse Agreement Joint Powers Board of the termination of the Sublease Agreement entered into by and between said parties on September 17, 2014, for the leasing of the leased premises as described and set forth therein.

BE IT FURTHER RESOLVED: That pursuant to this Sublease termination, the City is requesting all rent paid by the City of Casper, Wyoming, in the sum of Five Million Ninety-Six Thousand Five Hundred Twenty Dollars (\$5,096,520.00) be refunded to the City within thirty (30) days as provided in Section 1B. of the Sublease.

BE IT FURTHER RESOLVED: That the Mayor is hereby authorized and directed to send a certified copy of this Resolution to the Amoco Reuse Agreement Joint Powers Board in order to provide the Joint Powers Board with written notice of the termination of the Sublease.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor

November 7, 2016

MEMO TO: V. H. McDonald, City Manager

FROM: Liz Becher, Community Development Director 

SUBJECT: Letter Support for a Business Ready Community Grant Application by the Town of Bar Nunn to help construct an interchange at Interstate-25 and Westwinds Boulevard.

Recommendation:

That Council, by resolution, authorize the Mayor to sign a letter of support for the Town of Bar Nunn's \$3.0 million Business Ready Community (BRC) grant application to the Wyoming Business Council to help construct an interchange at Interstate-25 and Westwinds Boulevard.

Summary:

The Casper City Council recognizes this project will provide the Bar Nunn community with infrastructure to allow great opportunities for business growth in the surrounding areas while also alleviating many safety concerns for the residents of Bar Nunn. Since Casper and Bar Nunn are active municipalities in the Casper Area Metropolitan Planning Organization (MPO), along with Mills, Evansville, and Natrona County, intergovernmental support of infrastructure projects is paramount. The municipalities consistently work with each other on the project goals outlined in the Transportation Improvement Plan (TIP), overseen by WYDOT. The other project funding currently secured for this project is coming from the Casper Area Metropolitan Planning Organization Surface Transportation Program Urban (STPU) funds, Natrona County and the Town of Bar Nunn.

A resolution has been prepared for Council's consideration.



OFFICE OF THE MAYOR

CITY OF CASPER

200 NORTH DAVID STREET
CASPER, WYOMING 82601-1815
PHONE (307) 235-8224
FAX: (307) 235-8313
www.cityofcasperwy.com

November 15, 2016

Mayor Patrick Ford
Town of Bar Nunn
4820 Wardwell Industrial Ave
Bar Nunn, WY 82601

Dear Mayor Ford:

On behalf of the Casper City Council, we are writing in support of the Town of Bar Nunn's \$3.0 million Business Ready Communities grant application for the interchange at Interstate-25 and Westwinds Boulevard.

This grant funding is critical for the purpose of securing the remaining portion of the anticipated \$12.3 million total project costs and would allow the much needed project to become a reality. The interchange will provide the community with infrastructure to allow great opportunities for business growth in Bar Nunn and the surrounding areas while also alleviating many safety concerns for the residents of Bar Nunn. The project funding currently secured for this project is coming from the Casper Area Metropolitan Planning Organization Surface Transportation Program Urban (STPU) funds, Natrona County and the Town of Bar Nunn.

The Casper City Council strongly supports the Town of Bar Nunn's Business Ready Communities grant application and would appreciate the consideration of the Wyoming Business Council in this matter.

Sincerely,

Daniel Sandoval
Mayor

RESOLUTION NO.16-268

A RESOLUTION AUTHORIZING THE MAYOR TO SIGN A LETTER OF SUPPORT FOR THE TOWN OF BAR NUNN'S BUSINESS READY COMMUNITY (BRC) GRANT APPLICATION TO THE WYOMING BUSINESS COUNCIL FOR THE INTERCHANGE AT INTERSTATE-25 AND WESTWINDS BOULEVARD.

WHEREAS, the Town of Bar Nunn is applying for a three million dollar (\$3,000,000) Business Ready Community (BRC) grant from the Wyoming Business Council to help construct an interchange at Interstate-25 and Westwinds Boulevard; and,

WHEREAS, the grant funding is critical to secure the remaining portion of the anticipated twelve million, three hundred thousand dollar (\$12,300,000) total project cost since the project cannot be done in phases; and,

WHEREAS, the interchange will provide opportunities for business growth in Bar Nunn and ready the community with needed infrastructure, to include residential safety; and,

WHEREAS, the additional funding for this project will come from the Casper Area Metropolitan Planning Organization (MPO) Surface Transportation Program Urban (STPU) funds, Natrona County, and the Town of Bar Nunn.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF CASPER, WYOMING: That the Mayor is hereby authorized and directed to sign a letter of support on behalf of the City of Casper for the Town of Bar Nunn's Business Ready Community (BRC) grant from the Wyoming Business Council to help construct an interchange at I-25 and Westwinds Boulevard.

PASSED, APPROVED, AND ADOPTED on this ____ day of November, 2016.

APPROVED AS TO FORM:



ATTEST:

CITY OF CASPER, WYOMING
A Municipal Corporation

Tracey L. Belser
City Clerk

Daniel Sandoval
Mayor